



## PLANNING PERMISSION

### Planning (Northern Ireland) Order 1991

Application No: **R/1998/1115**

Date of Application: **30th December 1998**

Site of Proposed Development: **Opposite 78-120 Stream Street, Downpatrick**

Description of Proposal: **Private housing development 26 2-storey terrace dwellings, 2 2-storey semi-detached dwellings and 2 apartments**

Applicant: **Polly Bros Ltd**  
Address: **38 Ballyhornan Road**  
**Downpatrick**

Agent: **Taggart Mac Randal Partnership**  
Address: **67 Saint Patricks Avenue**  
**Downpatrick**  
**Co Down**  
**BT30 6DN**

Drawing Ref: **R/1998/1115/01, 02, 03, 04**

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The Department of the Environment in pursuance of its powers under the above-mentioned Order hereby

### GRANTS PLANNING PERMISSION

for the above-mentioned development in accordance with your application subject to compliance with the following conditions which are imposed for the reasons stated:

1. As required by Article 34 of the Planning (Northern Ireland) Order 1991, the development hereby permitted shall be begun before the expiration of 5 years from the date of this permission.
2. The Private Streets (Northern Ireland) Order 1980.  
The Department hereby determines that the width, position and arrangement of the streets, and the land to be regarded as being comprised in the streets, shall be as indicated on Drawing No 1b bearing the date stamp 19 May 1999.

Reason: To ensure there is a safe and convenient road system within the development and to comply with the provisions of the Private Streets (Northern Ireland) Order 1980.

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**DC1001MW**

Downpatrick Planning Office



3. Notwithstanding the provisions of the Planning (General Development) Order (NI) 1993 no garages shall be sited closer than 5.6 metres from the back of the footway or service strip.

Reason: To ensure that there is space for a parked vehicle without encroaching onto the footway or service strip.

4. The Private Streets (Northern Ireland) Order 1980 as amended by the Private Streets (Amendment) (Northern Ireland) Order 1992.

No part of the development hereby permitted shall be commenced until the works necessary for the improvement of a public road have been completed in accordance with the details outlined blue on Drawing Number 1b bearing the date stamp 19 May 1999. The Department hereby attaches to the determination a requirement under Article 3(4A) of the above Order that such works shall be carried out in accordance with an agreement under Article 3 (4C).

Reason: To ensure that the road works considered necessary to provide a proper, safe and convenient means of access to the development are carried out.

5. The visibility splays of 4.5 metres by 70 metres at the junction of the proposed housing access road with the public road, shall be provided in accordance with the approved plans, prior to the commencement of any works or other development.

Reason: To ensure there is a satisfactory means of access in the interests of road safety and the convenience of road users.

6. No dwelling(s) shall be occupied until that part of the service road which provides access to it has been constructed to base course; the final wearing course shall be applied on the completion of each phase.

Reason: To ensure the orderly development of the site and the road works necessary to provide satisfactory access to each dwelling.

7. Notwithstanding the provisions of the Planning (General Development) (Northern Ireland) Order 1993, no buildings, walls or fences shall be erected, nor hedges nor formal rows of trees grown, (in verges/service strips) determined for adoption.

Reason: To ensure adequate visibility in the interests of road safety and the convenience of road users and to prevent damage or obstruction to services.

8. No dwelling shall be occupied until provision has been made and permanently retained within the curtilage of the site for the parking of private cars as shown on the approved plans.

Reason: To ensure adequate parking in the interests of road safety and the convenience of road users.

9. A hedge of native species shall be planted to the rear of the visibility splays during the first available planting season following the commencement of development.

Reason: In the interests of visual amenity.

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DC1001MW

Downpatrick Planning Office

See also Explanatory Notes attached





10. If within a period of 5 years from the date of the planting of any tree, shrub or hedge, that tree, shrub or hedge is removed, uprooted or destroyed or dies, or becomes, in the opinion of the Department, seriously damaged or defective, another tree, shrub or hedge of the same species and size as that originally planted shall be planted at the same place, unless the Department gives its written consent to any variation.

Reason: To ensure the provision, establishment and maintenance of a high standard of landscape.

11. The 1.8 metre wide footpath at the western side of the site shall be retained.

Reason: In the interests of amenity

### **Informatives**

1. A public water supply is available.
2. If required a new water supply will be granted on approval of completed official Water Executive application form and payment of Department's standard charges.
3. All plumbing work and fittings installed must comply with the Water Regulations N1 1991 No 50.
4. A public foul sewerage system is available to serve this development.
5. The applicant should check by means of survey and levels if it is possible to drain the site by gravity to the existing foul sewer.
6. A public storm sewerage system is not available to serve this development.
7. Storm water must not be taken to the foul sewer. The applicant must make his own arrangements for the disposal of storm water. Where it is proposed to discharge storm water to a river, stream or watercourse, the prior written consent for such discharge must be obtained from the Department of Agriculture.
8. Building over or within 6 metres of public sewer which passes through the proposed site is not permitted. The applicant will have to bear the cost of any necessary and approved diversion of the sewer. The Department may, in very exceptional circumstances, consent to the building over the sewer in which case the applicant must enter into a legal agreement with the Department for such building over the sewer.
9. A new connection to the public sewer will be granted subject to approval of:-
  - (a) detailed drainage proposals;
  - (b) completed Sewer Application Form (obtainable from Water Executive- Eastern Division, Cloonagh Road, Downpatrick, BT30 6ED (Tele 614821 ));
  - (c) receipt of current standard charge for inspection of completed work.

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See also Explanatory Notes attached



10. A detailed drainage scheme must be submitted and approved by Water Service before work on site commences.
11. T.A.S. approval will be required from the Departments Road Service for construction of proposed retaining wall along Tream Street frontage. Full and detailed plans should be submitted.
12. The Department hereby emphasises that separate approval must be received from the Department respect of standards required for the construction of streets as laid down in The Private Streets (Construction) Regulations (NI) Order 1980 and that under no circumstances must constructional works be undertaken on the street to which these regulations apply until the Department's approval has been obtained.
13. Detailed construction drawings as required under the Private Streets (Construction) Regulations (NI) 1994 to be submitted to DOE, Roads Service, Central Services, Rathkeltair House, Market Street, Downpatrick.
14. Details of any retaining walls required shall be submitted for approval and approved in writing under the Department's Technical Approval Scheme prior to any construction work being undertaken. The necessary TASI forms to be obtained from the Department's Roads Service.
15. It is imperative that vendors inform purchasers of their limited rights within the strips coloured green and hatched in black paralleling both sides of the Type 5A roads and insert or cause to be inserted in the deeds or covenant:-

The purchaser hereby covenants with the vendor that he/she, the purchaser, and his successors in title will not at any time hereafter erect or construct any building, wall or fence or plant any tree or shrubs greater than 500 mm mature height on the service strip shown paralleling both sides of the Type 5A road on the plan annexed hereto, nor do or suffer to be done therein or thereon any act, matter or thing whereby the cover of soil over or the support of the pipes, wires and/or cables laid or to be laid in the said strip of land shall be altered or which may render access thereto more difficult or expensive and shall understand that the road authority and statutory undertakers have unencumbered right of access to the said strip of land.

16. Precaution shall be taken to prevent the deposit of mud and other debris on the roadway outside the site by vehicles travelling to and from the site. Any deposit of mud, refuse, etc on the nearby roadway caused through the operations shall be removed.
17. This approval does not empower you to build or erect any structure, wall or fence or encroach in any other manner on a public roadway (including a footway and verge) or on any other land owned or managed by the Department for which separate permission and arrangements are required.
18. In order to ensure that the laying of ducts and the erection of columns for street lighting is coordinated with the construction of the streets, the applicant should contact the Roads Service Street Lighting section at Carn Depot, Portadown before any construction work commences.
19. The highest ever flood level of 1.48 mOD, recorded in the vicinity of this site on the Ballydugan Road was during the flood of August 1986. Part of the site lies within the flooded area. An accurate assessment of flood levels in this area is difficult due to the flat bed gradients and the large pondage areas of the Quoile along this reach. However the estimated 1 in 100 year flood level for this site is

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Downpatrick Planning Office

See also Explanatory Notes attached



2.5 mOD Belfast which is based on calculations for an adjacent playing field site. A suitable freeboard is normally added for design purposes. A watercourse, designated under the terms of the drainage (Northern Ireland) Order 1973 is culverted close to the northern boundary. If in the course of developing the site a culvert is located, the Rivers Agency should be contacted for appraisal and comment from the drainage aspect. Stormwater could discharge to the designated culvert subject to agreement of discharge point. If the developer carrying out any works to a watercourse (such as culverting, diverting or crossing) in the course of developing the site, he must contact the Rivers Agency at an early stage for our appraisal and comment from a drainage aspect.

Dated: 23rd February 2000

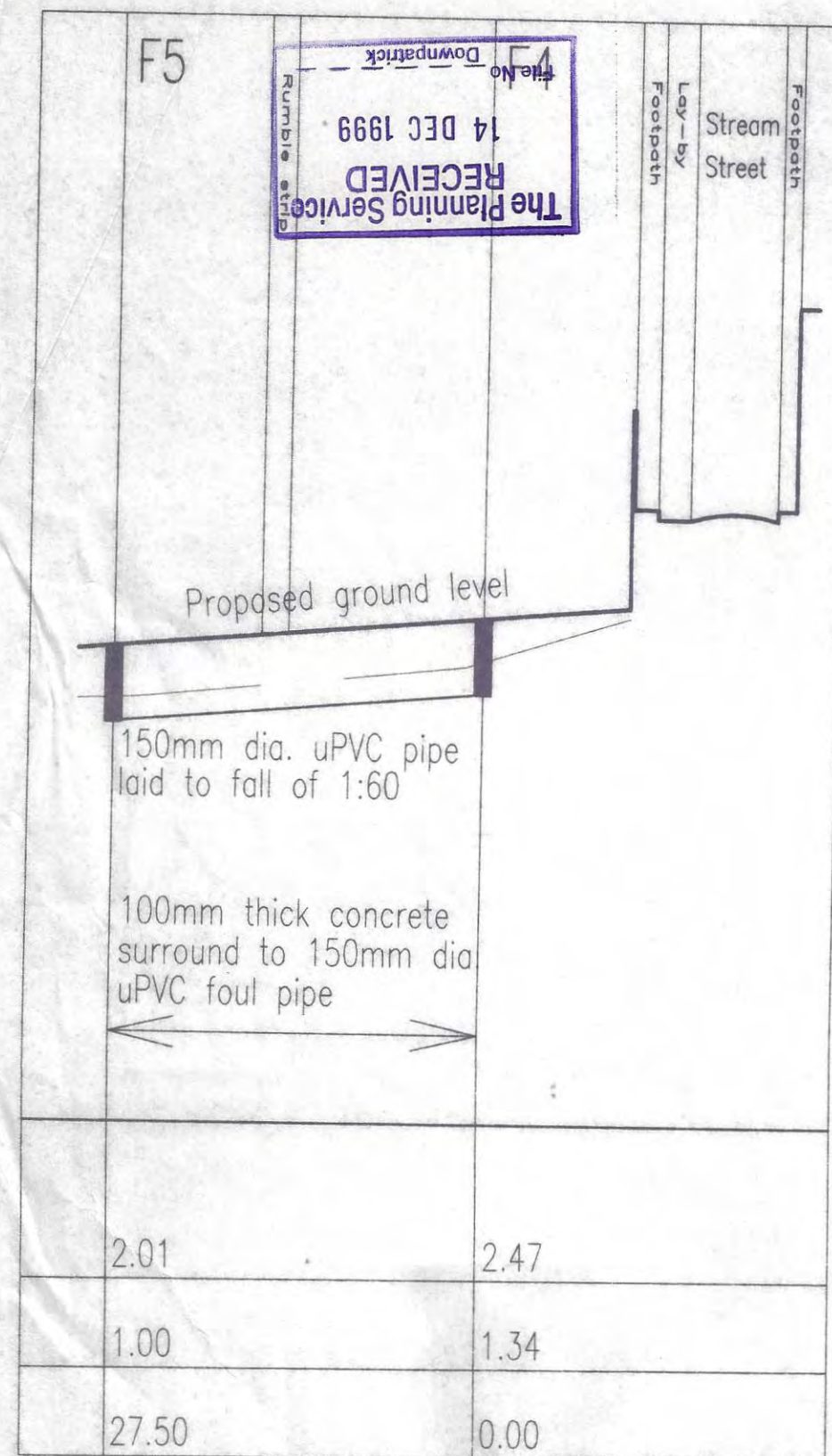
  
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Authorised Officer

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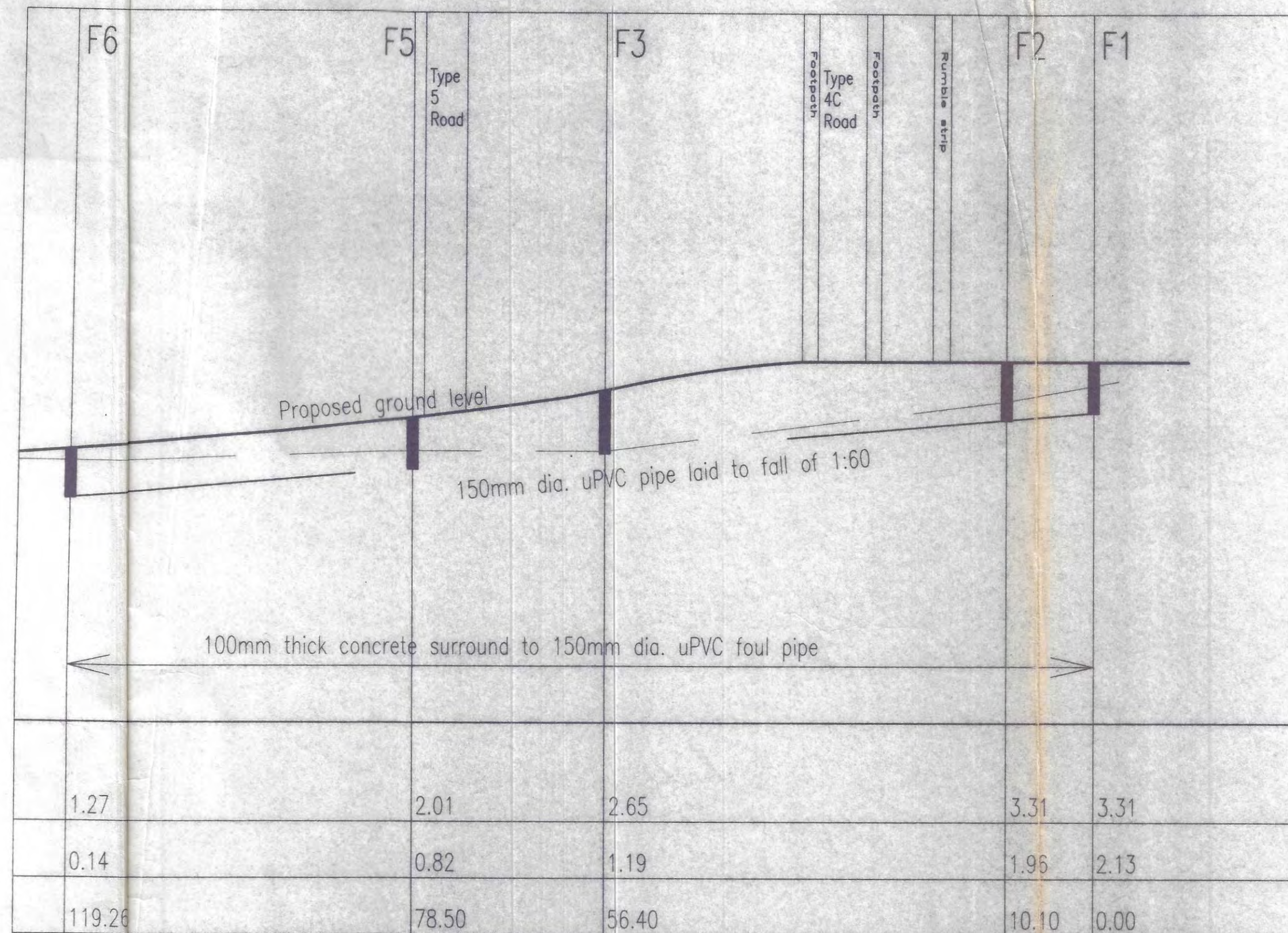
DC1001MW

Downpatrick Planning Office

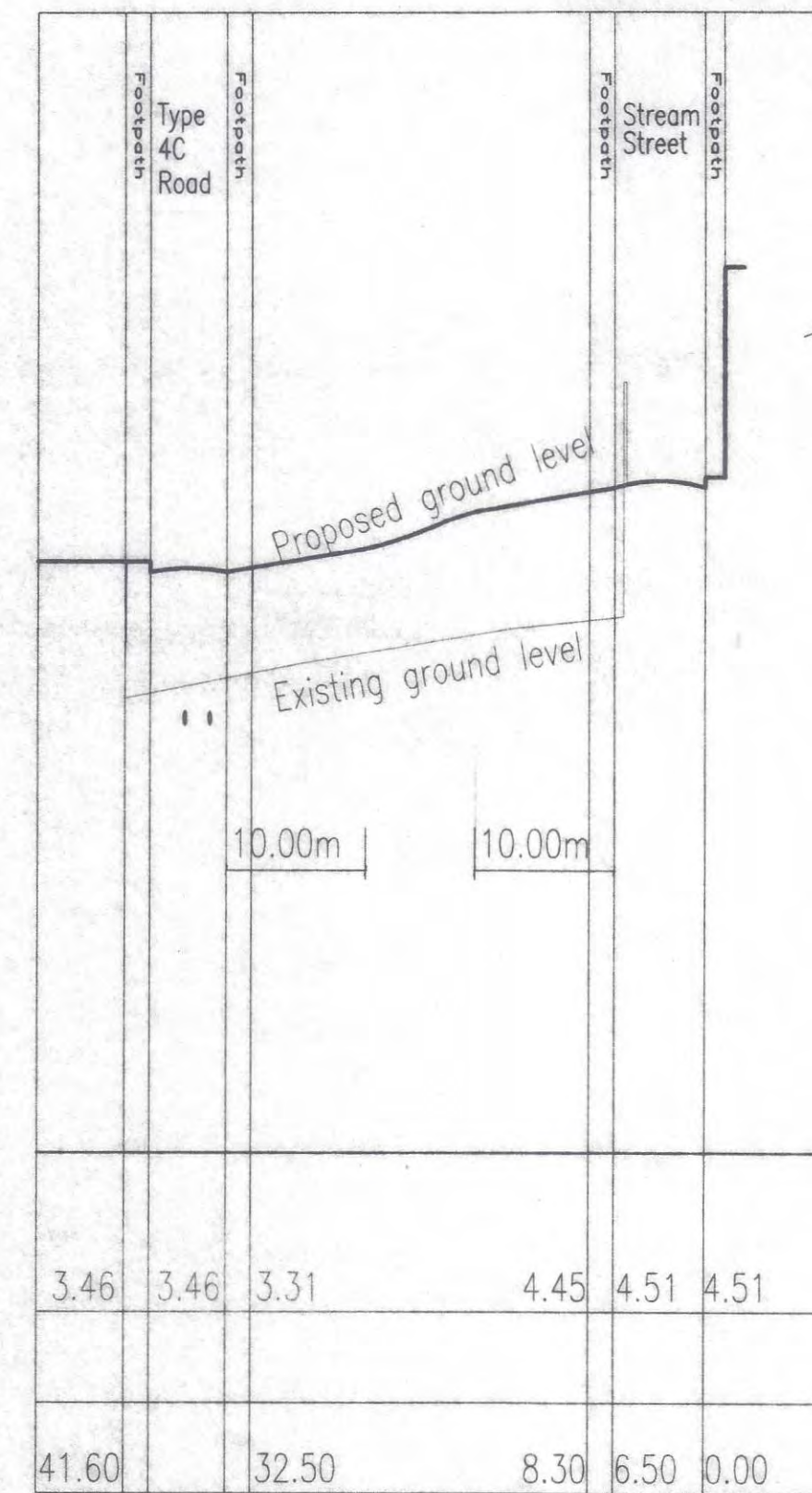
See also Explanatory Notes attached



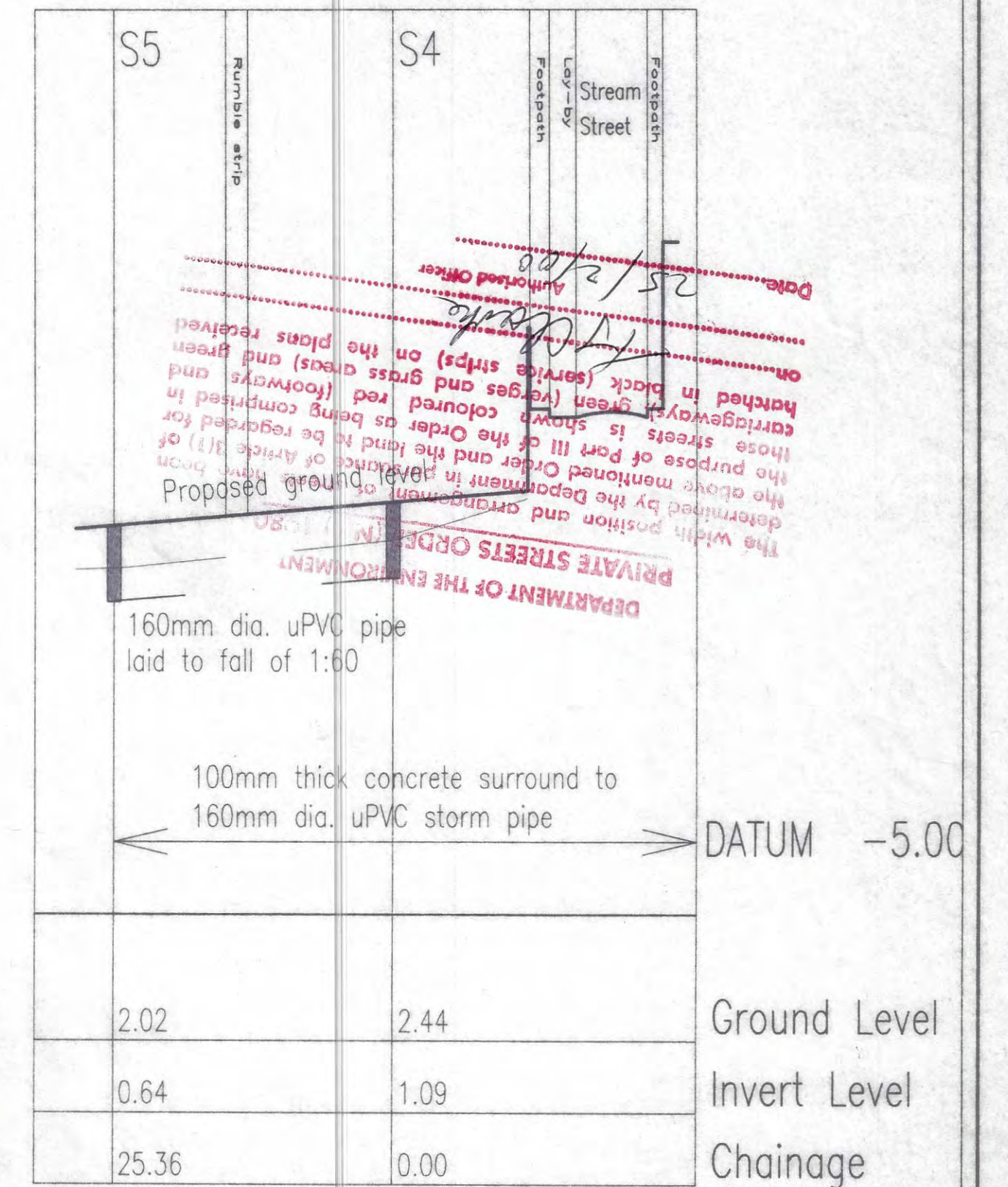
Section Through Type 5 Road (Foul Sewer)



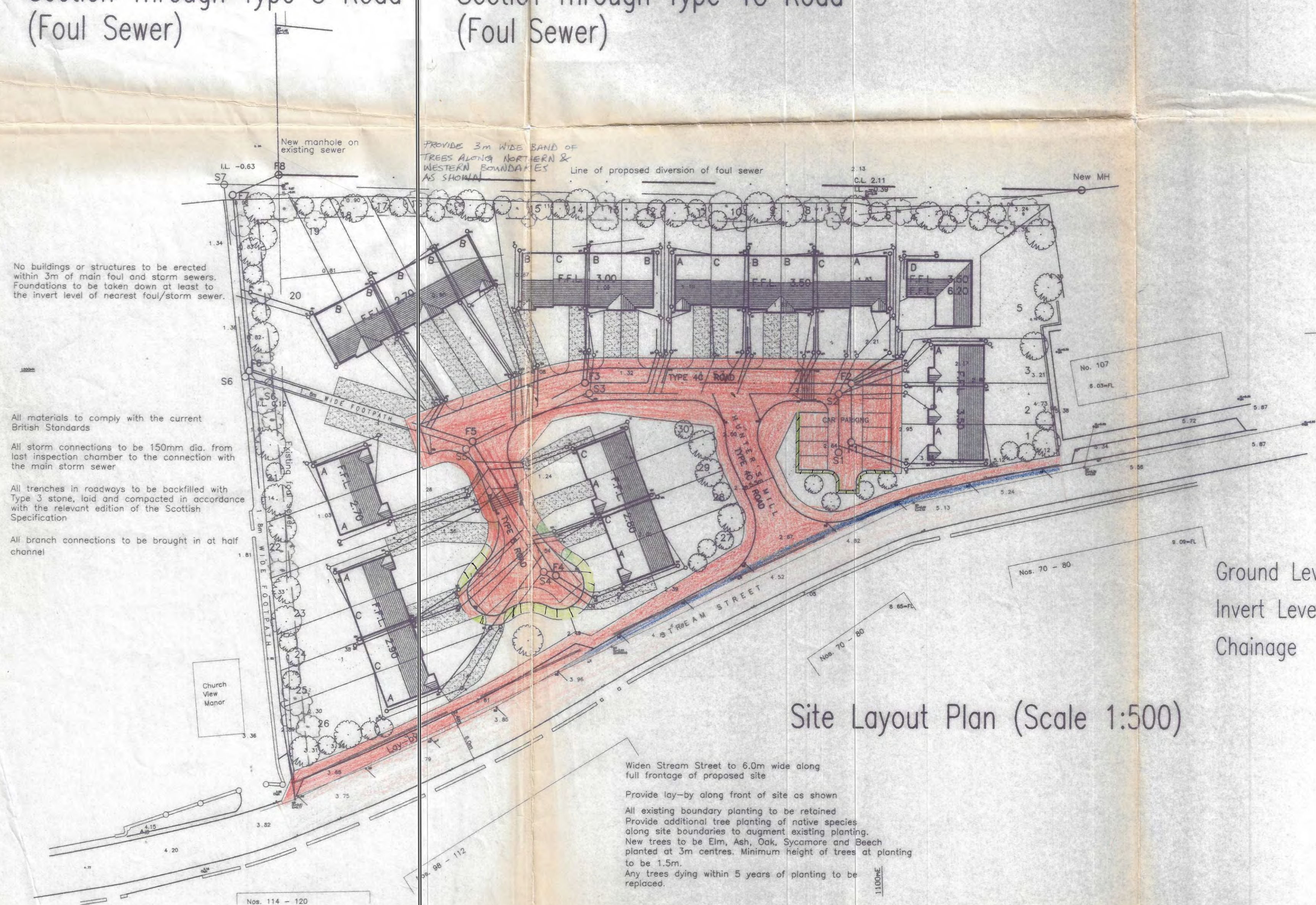
Section Through Type 4C Road (Foul Sewer)



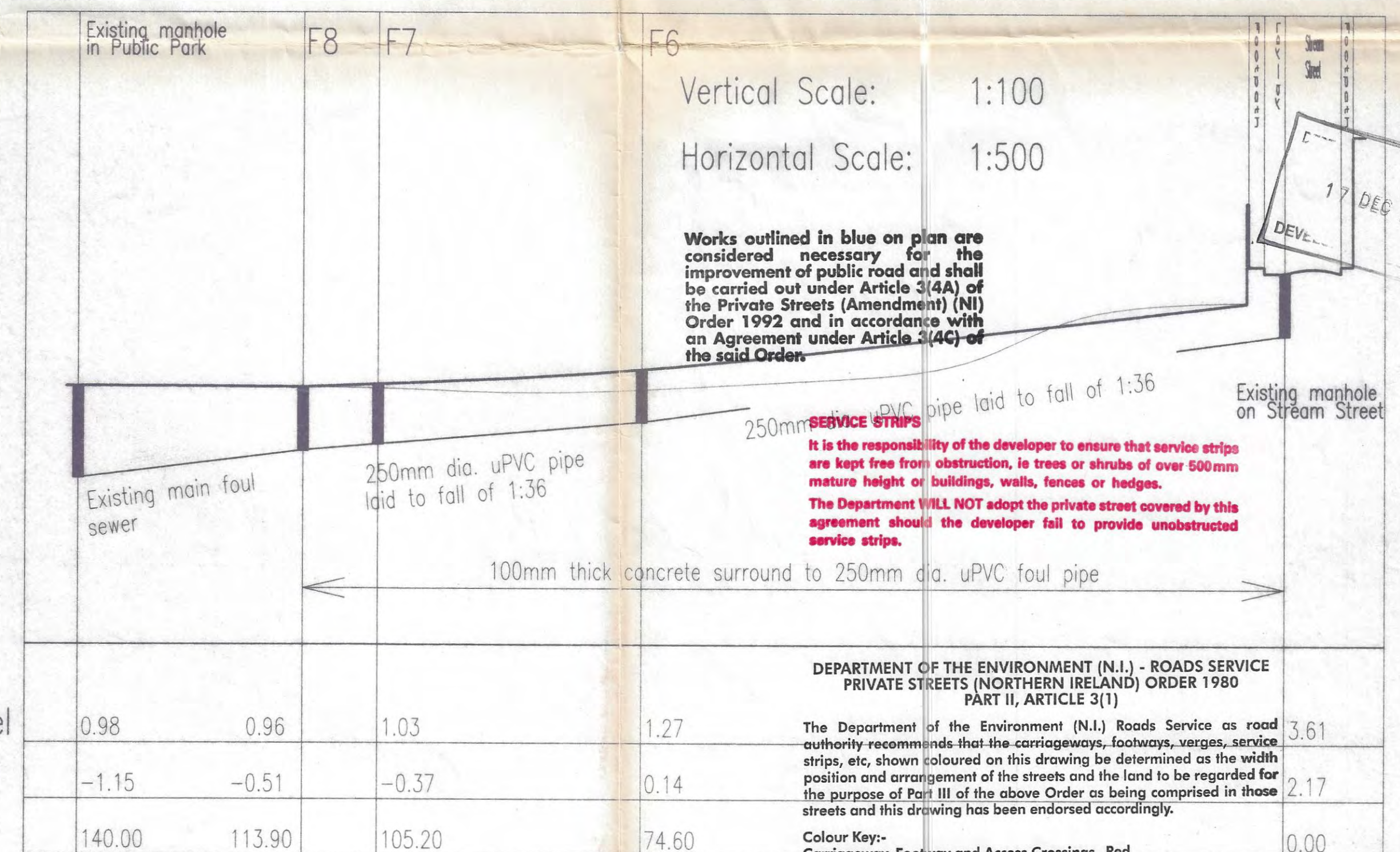
Section Through Type 4C Entrance Road



Section Through Type 5 Road (Storm Sewer)



Site Layout Plan (Scale 1:500)



Section Through 1.8m Wide Footpath (Foul Sewer)

Works outlined in blue on plan are considered necessary for the improvement of public road and shall be carried out under Article 3(4A) of the Private Streets (Amendment) (NI) Order 1992 and in accordance with an Agreement under Article 3(4C) of the said Order.

It is the responsibility of the developer to ensure that service strips are kept free from obstruction, ie trees or shrubs of over 500mm mature height or buildings, walls, fences or hedges. The Department WILL NOT adopt the private street covered by this agreement should the developer fail to provide unobstructed service strips.

DEPARTMENT OF THE ENVIRONMENT (N.I.) - ROADS SERVICE PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980 PART II, ARTICLE 3(1)

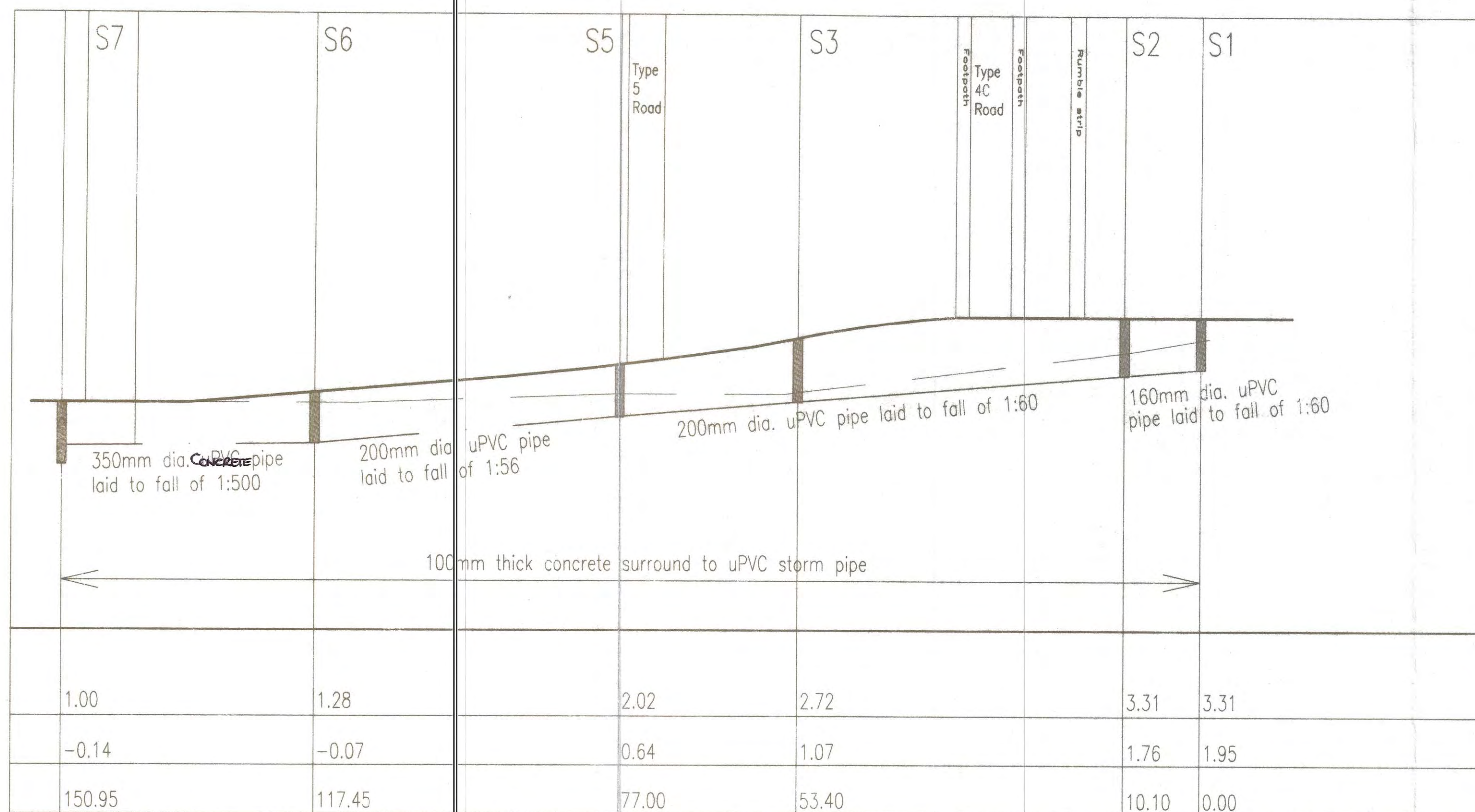
The Department of the Environment (N.I.) Roads Service as road authority recommends that the carriageways, footways, verges, service strips, etc. shown coloured on this drawing be determined as the width position and arrangement of the streets and the land to be regarded for the purpose of Part III of the above Order as being comprised in those streets and this drawing has been endorsed accordingly.

Colour Key:-  
Carriageway, Footway and Access Crossings Red  
Verge Green  
Service Strip Green with black hatching

Signed: [Signature]  
Date: 21/11/98 Reference No. R1115198

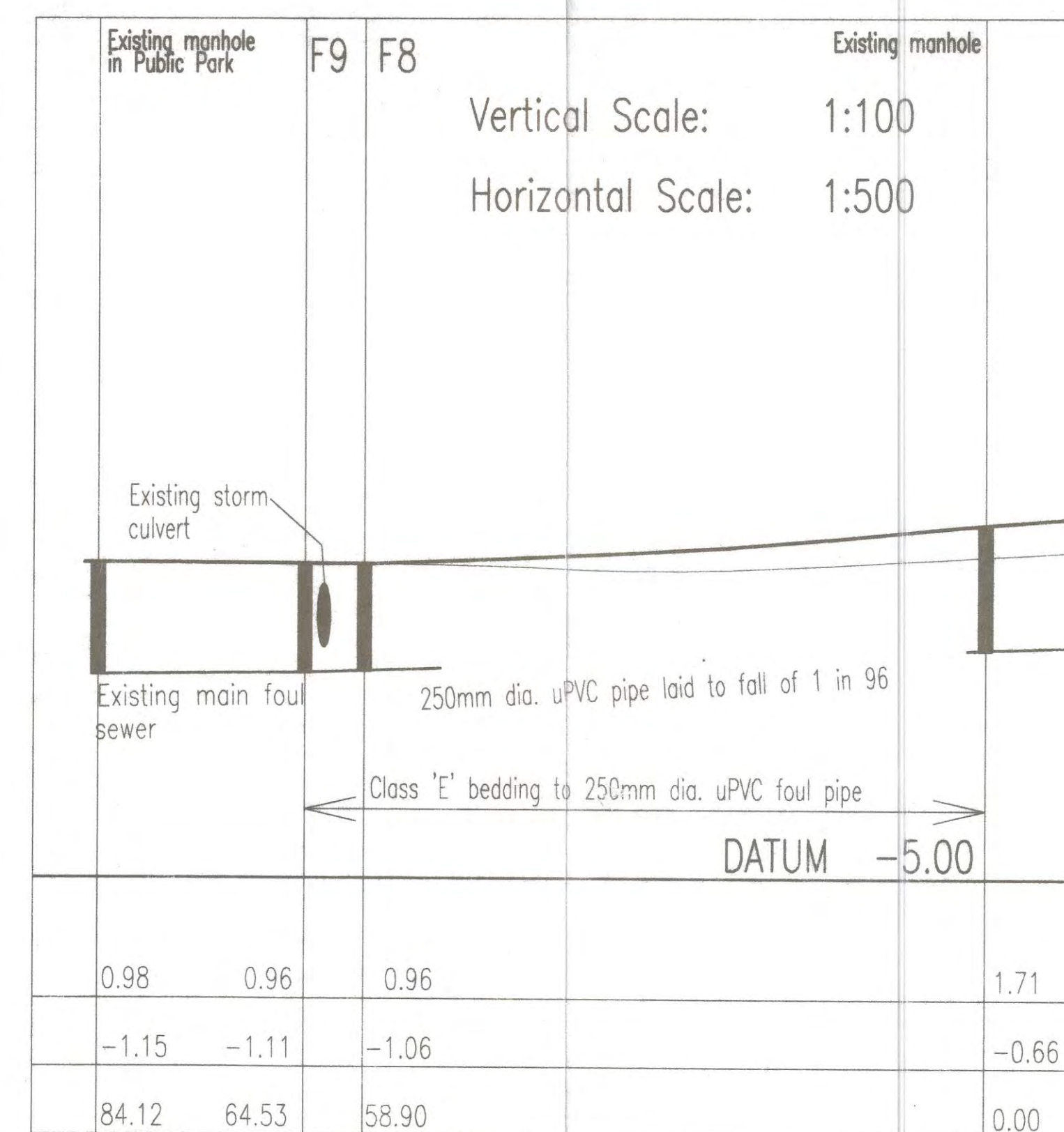
The Planning Service RECEIVED 14 DEC 1999

TAGGART MAC BANDAL PARTNERSHIP CHARTERED ARCHITECTS		DATE	Apr 99
07 St. Patrick's Avenue		SCALE	1:500
Downpatrick, Co. Down BT30 2DN		SCALE	1:100
Tel 01396 612530 Fax 01396 614429		ORG No.	1b
PROJECT		Private Housing Development	
PROJECT		Hunter's Mill, Stream Street	
PROJECT		Downpatrick, Co. Down	
PROJECT		MESSRS. POLLY BROS.	
DRAWING		Site Layout Plan	
DRAWING		Sewer/Road Sections	
REVISION			



Section Through Type 4C Road  
(Storm Sewer)

Vertical Scale: 1:100  
Horizontal Scale: 1:500



Diversion of Existing Foul Sewer

DATUM -5.00  
Ground Level  
Invert Level  
Chainage

DEPARTMENT OF THE ENVIRONMENT (N.I.)  
WATER SERVICE - EASTERN DIVISION  
WATER ACT (N.I.) 1972  
WATER AND SEWERAGE SERVICES  
(AMENDMENT) ORDER (N.I.) 1993

Approval No. PD 10/99  
Signed: *Steph Bros*  
Infrastructure Manager  
Dated: 16/2/01

APPROVED  
Signed: *John Kelly*  
Authorised Officer  
Dated: 19/2/01

CIARAN TAGGART ARCHITECTS 87 St. Patrick's Avenue Downpatrick, Co. Down BT26 6DN Tel: 028 4461 8070 Fax: 028 4461 4429		DATE Feb 2000
PROJECT Private Housing Development Hunter's Mill, Stream Street Downpatrick, Co. Down		SCALE 1:500 1:100
DRAWING Sewer Sections		DRG No. 1c
REVISION Water Service 9/2/01		





Rathkeltair House  
Market Street  
DOWNPATRICK  
BT30 6AJ

Telephone: 028 4461 2211  
Fax: 028 4461 8188

Polly Brothers Ltd  
38 Ballyhornan Road  
DOWNPATRICK  
Co Down

5 May 2000

Our Ref: ADM5-01-R345

Dear Sir

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980  
DEVELOPMENT OPPOSITE 78-120 STREAM STREET, DOWNPATRICK**

Further to the approval of street plans by this Division and in accordance with the Private Streets (Northern Ireland) Order 1980 it will be necessary that you enter into an Agreement and Bond with the Department for the cost of street works at the above-mentioned development.

I should be grateful, therefore, if you would forward:

1. Confirmation from your Solicitor that you have -
  - a. a freehold estate in the land to be developed;
  - b. a leasehold estate in the land to be developed; or
  - c. a builder's licence to develop the land.

Your solicitor should include a location plan showing the exact extent of the said lands outlined in red.

2. Your registered address.
3. The name and address of the Bank or Insurance Company who will act as surety.
4. A copy of the Notice of Building Control Approval authorised by the District Council in respect of the dwellings.
5. One No negative to scale 1:1250 based on Published Ordnance Survey map showing each site and house number. Also 4 plans to scale 1:500 and 4 copies of 1:1250 scale

plans. These plans should show roads and footways coloured red and service verge green with the estate which is to be included in the Agreement and Bond surrounded by a red line.

Four plans to scale 1:500 and 4 plans to scale 1:1250 should be forwarded for each phase of the development.

Please Note: Incorrectly coloured plans will be returned.

I would point out that it is an offence under the Order for any work to be done for the purpose of erecting any building until the sum in respect of the cost of the street works has been paid or secured with the Department.

The procedure to be followed for the giving of notice of commencement and completion of certain stages of work is appended hereto.

Once the site has been completed and ready to be placed on maintenance the following plans should be submitted:

2 copies of 1:1250 scale plans and 2 copies of a plan to scale 1:500 showing the street actually constructed, indicating the position of all pipes, cables etc with roads coloured red and grass green. A copy of Water Service clearance must also be submitted.

At the end of the 12 months period of maintenance an application for final adoption of the street should be submitted together with 4 copies of 1:1250 scale plans and 4 copies of 1:500 scale plans as constructed, showing roads coloured red and service verges green. A copy of Water Service clearance must also be submitted.

Once the site is up to adoption standard, adoption certificate will be issued and bonds cancelled.

Yours faithfully



**R S ELLISON**  
Principal Engineer  
Traffic & Planning

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980**

Statutory Rules and Orders for Northern Ireland - 1966  
No 262 PRIVATE STREETS Standards of Construction  
includes PART IV - PROCEDURE

This 'PROCEDURE' includes the following sub-section:

"Notice of commencement and completion of certain stages of work. 21-(1). For the purposes of this regulation, the expression "24 hours' notice" shall not include a Saturday, Sunday, Bank Holiday or day appointed for public thanksgiving or mourning.

(2) A person who intends to construct a street to which the regulations apply shall give to the surveyor not less than 24-hours' notice in writing of the date and time at which -

- a. the construction of the street will be commenced; and
- b. the covering-up of any sewer or drain to which the regulations apply will be commenced; and
- c. the covering-up of the formation will be commenced; and
- d. the covering-up of the base of the street will be commenced.

(3) Such a person shall -

- a. if he neglects or refuses to give any such notice, comply with a notice in writing by the surveyor requiring him within a reasonable time to cut into or lay open so much of the street as prevents the surveyor from ascertaining whether any of the regulations have been contravened;
- b. if he has received a notice in writing from the surveyor pointing out the respects in which the street contravenes the regulations, and as a result of such notice has altered or added to the street so as to secure compliance with the regulations, within a reasonable time after the completion of such work give to the surveyor notice in writing of its completion; and
- c. within a reasonable time after the completion of the construction of the street give to the surveyor notice in writing of the completion."

Your attention is drawn to the requirements to provide "24 hours' notice' for the various stages of work detailed above. Consequently you are hereby instructed to give such notices of the commencement and completion of the above stages of work at your development opposite 78-120 Stream Street, Downpatrick

These notices shall be addressed to the PRIVATE STREETS FOREMAN,  
[REDACTED] who may also be contacted by telephone at [REDACTED]

Rathkeltair House  
Market Street  
DOWNPATRICK  
BT30 6AJ

Telephone: 028 44 612211  
Fax: 028 44 618188

Polly Brothers Ltd  
38 Ballyhornan Road  
DOWNPATRICK

10 October 2000

Our Ref: ADM5-01-R345

Dear Sirs

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980  
DEVELOPMENT: HUNTERS MILL, STREAM STREET, DOWNPATRICK**

I refer to the above development and enclose herewith forms of agreement and bond under Article 32 of the above Order in the sum of £42,000 for the area shown coloured on the attached plan ref No 345 .

The agreement should be signed and witnessed by 2 signatories (ie, 2 directors or one director and a company secretary), and the bond completed by yourselves and your surety.

Please return the agreement, bond and plan to this office within 4 weeks by the latest.

Until the documents have been signed and sealed all building work should cease on site.

Yours faithfully

  
**R S ELLISON**  
Principal Engineer  
Traffic & Transportation

Being dealt with by 

Rathkeltair House  
Market Street  
DOWNPATRICK  
BT30 6AJ

Telephone: 028 44 612211  
Fax: 028 44 618188

Polly Brothers Ltd  
38 Ballyhornan Road  
DOWNPATRICK

10 October 2000

Our Ref: ADM5-01-R345

Dear Sirs

**THE PRIVATE STREETS (AMENDMENT) (NORTHERN IRELAND)  
ORDER 1992  
DEVELOPMENT: HUNTERS MILL, STREAM STREET, DOWNPATRICK**

I am writing to advise you that the above Order, copies of which are obtainable from HMSO, came into operation on 17 February 1993.

I would draw your attention in particular to Article 9(2) which requires developers, before giving an undertaking under Article 24(1) or (2) or entering an agreement under Article 32 of the 1980 Order, to pay to the Department the fee required to register that undertaking or agreement in the Statutory Charges Register.

YOU MUST THEREFORE when returning the documents sent to you on <sup>10</sup>October 2000 enclose a cheque to the appropriate value made payable to the Department for Regional Development in connection with the registration. The fee is currently £40 per agreement but if it should increase prior to the return of the documents you will be required to pay the increased amount.

Yours faithfully

  
**R S ELLISON**  
Principal Engineer  
Traffic & Planning

Being dealt with by: 

Rathkeltair House  
Market Street  
DOWNPATRICK  
BT30 6AJ

Tel No: 028 4461 2211  
Fax No: 028 4461 8188

Polly Brothers Ltd  
38 Ballyhornan Road  
DOWNPATRICK  
Co Down

12 January 2001

Your ref.  
Our ref. ADM5/01/R345

Dear Sirs

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980  
DEVELOPMENT: HUNTER'S MILL, STREAM STREET, DOWNPATRICK**

I refer to our letters dated 29 November 2000 requesting you to complete bond documents and return with £40 fee within 4 weeks.

To date these documents have not been received and I would ask you to give this matter your urgent attention and forward the outstanding documentation without further delay to enable sealing by our Headquarters.

Yours faithfully

  
**R S ELLISON**  
Principal Engineer  
Traffic & Planning

2645  
2319

01445/01

**DEPARTMENT FOR REGIONAL DEVELOPMENT**

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980 - ARTICLE 32**

Form No 76 (Revised March 1995)

Article 32 Agreement and Bond

File Reference **ADM5/01/R345**

**DEVELOPMENT AT HUNTERS MILL, STREAM STREET,  
DOWNPATRICK**

**AGREEMENT** made the **8<sup>TH</sup>** day of **JUNE** 2001 between the Department for Regional Development (hereinafter called "the Department") of the first part and **Polly Brothers Limited** having its Registered Office at **38 Ballyhorgan Road, Downpatrick, Co Down** (hereinafter called "the Developer") of the second part.

**WHEREAS:**

1. The Developer has a **Builder's Licence to Develop** certain lands described in the Schedule which are delineated on a plan (Ref No **R345**) annexed hereto (hereinafter called "the plan") and thereon surrounded by a **RED** line (hereinafter called "the said lands") which are proposed to be developed for **building purposes at Hunters Mill, Stream Street, Downpatrick.**
2. The Developer proposes to carry out in the said lands at his expense street works in private streets (hereinafter called "the said streets") the lines of which are shown on the plan and coloured **red and green.**
3. The Developer desires that the said streets shall on completion become public roads maintainable at public expense.

**NOW** in pursuance of the foregoing and in exercise of the powers conferred by Article 32 of the Private Streets (Northern Ireland) Order 1980 and of all others enabling it is hereby agreed and declared as follows:-

1. The position of any street constructed in pursuance of this Agreement shall unless otherwise agreed be in accordance with the plan.
2. The Developer shall properly construct and complete the streets in accordance with the Private Streets (Construction) Regulations (Northern Ireland) 1994 and shall ensure that no trees or shrubs greater than 500 mm mature height are planted in service strips or verges and that all such areas are kept free of buildings, walls, gates, fences or other means of enclosure or obstruction.
3. The Developer shall carry out and complete the street works with all diligence to the satisfaction of the Department so that there shall be a direct connection to an existing

public road from any building erected on the said lands within 12 months of its occupation or such longer period as the Department considers reasonable.

Where a building fronting the street has been occupied for 12 months and the street works have not been completed to the satisfaction of the Department it shall have the right (after giving to the Developer notice in writing of its intention to do so) to complete such street works or any part thereof and charge the cost thereof against the Developer.

4. The Developer will during the progress of the said works give to any representative of the Department free access to every part of the said streets and the sites thereof and permit him to inspect the same and all materials used or intended for use therein and shall give effect to any requirement made or instruction given to conform to the relevant plans and specifications.
5. The Developer will for at least 12 months or until such longer time as the said streets shall become public roads maintainable at public expense keep the whole of the works in a good state of efficiency and repair. The Developer shall ensure that no trees or shrubs greater than 500 mm mature height are planted in service strips or verges and that all such areas are kept free of buildings, walls, gates, fences or other means of enclosure or obstruction. The Developer will reinstate and make good any defects which shall or may appear arise or become manifest to any representative of the Department and the Department may until the said streets shall become public roads require the Developer to make good any portion of the said works considered to be defective and require the reconstruction of the same by the Developer.
6. When the street works shall have been completed and maintained for at least 12 months in accordance with this Agreement and the terms of this agreement shall have been duly complied with the Department shall issue a certificate to that effect on being requested to do so by the Developer. Where it has been agreed that the street works shall be carried out in sections a certificate may be issued in respect of any section provided that the streets in that section are connected to a public road.
7. The Developer shall secure the due performance of this Agreement by means of a guarantee bond (or by any other means acceptable to the Department) in the sum of **£42,000 (Forty Two Thousand Pounds) stg** being the estimated cost of the street works in the said streets. Provided that the Department may at the request of the Developer agree to a reduction in the amount secured on completion of any part of the said street works.
8. If at any time the Developer does not comply with any of the terms of this Agreement or of any stipulations made thereunder then the Department shall be entitled on giving 14 days notice in writing to that effect to carry out and/or complete the street works or any part or parts thereof and the permanent removal from service strips or verges of any trees or shrubs planted therein greater than 500 mm mature height, or any buildings, walls, gates, fences or other means of enclosure or obstruction erected thereon and the Developer shall forthwith pay to the Department the expenses incurred by it in carrying out or completing the said works. Provided that the Department shall be at



liberty to utilise all or any portion of the said sum paid or secured to them for the purpose of carrying out or completing the said street works.

- 9. The Developer hereby covenants with the Department that he will well and faithfully perform all the conditions undertakings and agreements on his part herein contained and that in default on the part of the Developer in respect of the performance in any particular of the said conditions and agreements or in the event of the Developer becoming liable to pay or repay to the Department any sum or sums of money arising out of this agreement the Department shall be entitled to a refund in respect of all such losses damages charges and expenses (including all costs and expenses incurred in carrying out works which the Developer has by this Agreement covenanted to undertake) and all such sum or sums so arising as the Department may sustain in or be put to or otherwise entitled to under this Agreement by reason of or in consequence of any such default or liability on the part of the Developer.

IN WITNESS whereof the Developer has hereunto set his hand and affixed his Seal and the Official Seal of the Department has been hereunto affixed the day and year first hereinbefore written.

Present when the Common Seal of Polly Brothers Limited was affixed ..... )  
..... )  
..... )



Sealed with the Official Seal of the Department for Regional Development in the presence of )  
)  
)



[Redacted Name] )  
A Senior Officer of the Department for Regional Development )  
)

[Redacted Name] )  
Civil Servant )  
both of Clarence Court, Belfast )  
)

SCHEDULE

Description of land referred to:-

All that piece or parcel of land situated in the Townland of Down Parish of Down and Barony of Lecale Upper and more particularly shown on plan reference R345 coloured red and green annexed hereto and surrounded by a red line.

**DEPARTMENT FOR REGIONAL DEVELOPMENT**

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980 - ARTICLE 32**

Form No 76 (Revised March 1995)

File Reference No ADM5/01/R345

**GUARANTEE BOND**

**KNOW ALL MEN BY THESE PRESENTS** that we **Polly Brothers Limited** whose registered office is at **38 Ballyhornan Road, Downpatrick** (hereinafter called "the Developer") and **National House Building Council** whose registered office is at **Buildmark House, Chiltern Avenue, Amersham, Buckinghamshire, HP6 5PA** (hereinafter called "the Surety") are held firmly bound to the Department for Regional Development (hereinafter called "the Department") in the sum of **£42,000 (Forty Two Thousand Pounds)** stg (hereinafter called "the Sum") to be paid by us to the Department for which payment we bind ourselves jointly and severally and the successors and assigns respectively of each of us the said **Polly Brothers Limited** and **National House Building Council** firmly by these presents.

**SEALED** with our respective seals the

8 day of *June* 2001

**PRESENT** when the Common Seal of **Polly Brothers Limited** (Developer) was affixed hereto:



**PRESENT** when the Common Seal of **National House Building Council** (Surety) was affixed hereto:



AUTHORITARY SIGNATORY

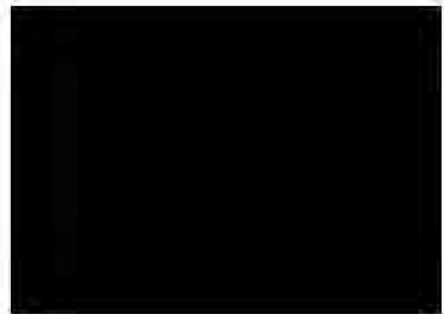
**WHEREAS** by Agreement dated 8 day of *June* 2001 annexed hereto and made between the above bounden Developer of the one part and the Department of the other part the Developer has agreed to execute and perform the works therein mentioned in the manner therein specified and subject to such terms, provisions, conditions and stipulations as in the said Agreement are particularly set forth.

**NOW THE CONDITION OF THE ABOVE WRITTEN BOND OR OBLIGATION** is such that if the above bounden Developer shall well and truly perform fulfil and keep all and every the covenants, clauses, provisos, terms conditions and stipulations in the said recited Agreement contained or expressed and on their part to be observed, performed, fulfilled and kept according to the true purport, intent and meaning thereof then the above written Bond or Obligation shall be void but otherwise the same shall remain in full force and virtue.

**PROVIDED ALWAYS AND IT IS HEREBY EXPRESSLY AGREED AND DECLARED** that no indulgence or extension of time granted to the Developer by the Department and no variation of or alteration in the Agreement between the Developer and the Department shall be deemed in any way to release the above bounden **Polly Brothers Limited** and **National House Building Council** from their liabilities thereunder.

SEALED with our respective seals the  
8 day of *June* 2001

**PRESENT** when the Common Seal of  
**Polly Brothers Limited** )  
(Developer) )  
was affixed hereto: )



**PRESENT** when the Common Seal  
of **National House Building Council** )  
(Surety) )  
was affixed hereto: )

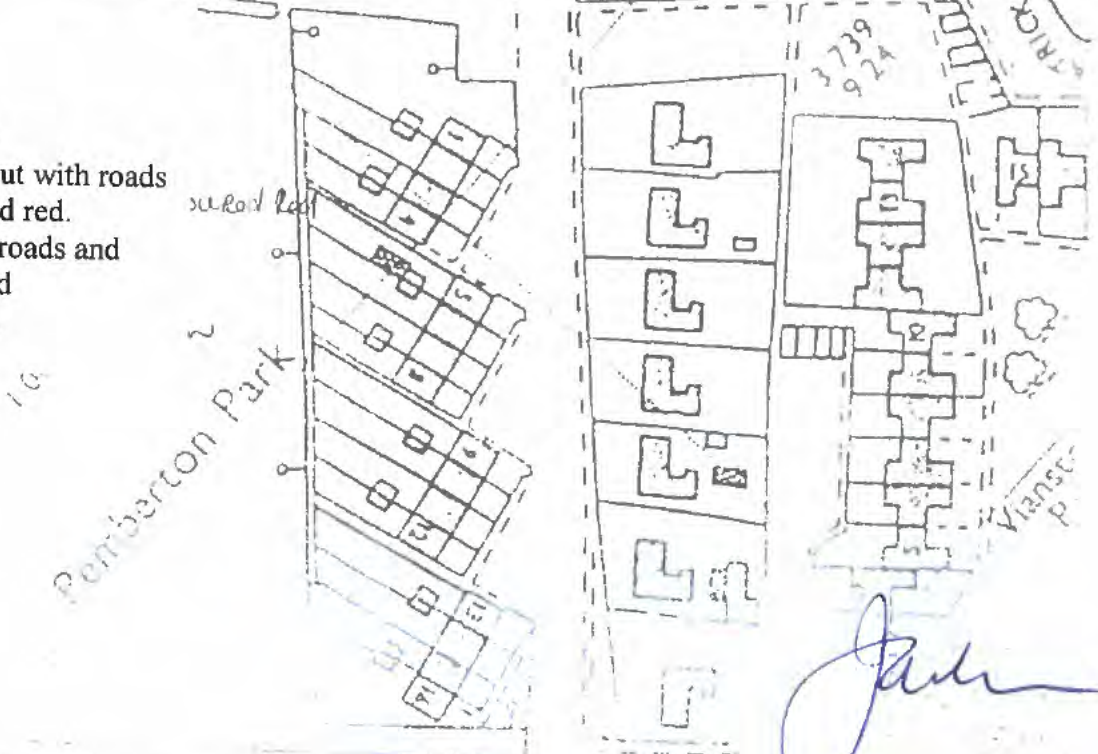
[Redacted signature area]  
**AUTHORISED  
SIGNATORY**

**SERVICE STRIPS**

It is the responsibility of the developer to ensure that service strips are kept free from obstructions and are not less than 1.5m wide. The Department will not accept any agreement should the developer fail to provide unobstructed service strips.



Bond Plan Ref R345  
 Part Traditional Layout with roads and footways coloured red.  
 Type 5A layout with roads and entrances coloured red  
 Service verges green.



<b>Taggart Mac Randal Partnership</b> Chartered Architects 67 St. Patrick's Avenue, Downpatrick Tel. 0396 612530 Fax 0396	Project: Private Housing Development at Hunter's Mill Stream Street, Downpatrick, Co. Down	Date: Dec 1999
	MESSRS POLY BROS.	Scale: 1:1250
		Title:

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980**  
**DEVELOPMENT AT** Hunter Lane Downpatrick  
**DEVELOPER:** Polly Bros

**APPLICATION FOR PRELIMINARY CERTIFICATE**

**OR**  
**12 MONTHS MAINTENANCE UNDER ARTICLE 8 (LETTER ONLY)**  
**(ART.32 BOND)**

Please find attached one copy plan Ref no R345 showing coloured the area for which a report/draft certificate is requested under article

**PRIVATE STREETS SECTION**

**DATE 08/05/02**

Please complete the following and return to Downpatrick Division:

- 1. Does plan submitted agree (in all respects) with Article 3(1) Determination and with plan issued when development was put on maintenance. yes**
  
- 2. Has Water Service Clearance been submitted** **yes**
  
- 3. Is Certificate recommended? ( If 'NO' , please supply List of remedial works etc required)** **no**
  
- 4. Recommended reduction in Amount of Bond (s) held.**

**Length of road to be adopted.**

**DETAILS**

<b>File number</b>	<b>Bond Date</b>	<b>Amount</b>	<b>Reduction</b>	<b>Amount held</b>
<b>R345</b>	<b>08/06/2001</b>	<b>£42,000</b>	<b>70%</b>	<b>£12,600</b>

RECEIVED  
WATER SERVICE  
2. NOV 2002  
DEPARTMENT OF THE  
ENVIRONMENT (ND)  
DOWNPATRICK

D.O.E (N.I.)  
ROADS SERVICE - DOWN DIVISION  
PRIVATE STREETS (N.I.) ORDER 1980 - RELEASE OF BOND.

FROM - [REDACTED]  
CASTLENAVAN QUARRY,  
131, NEWCASTLE ROAD  
SEAFORDE

TO - [REDACTED]  
WATER EXECUTIVE.

DEVELOPMENT AT - Downpatrick

KNOWN AS - Hunter Lane Steam Street

FOR - Polly Bros

A request has been made for the release of road bonds, for the above development

If the items listed below have been completed to your satisfaction, please sign below and return.

CHECK LIST

- 1. Combined foul \ storm sewer, including manholes, benching, covers etc
- 2. Foul drains and sewers, including manholes, benching, covers etc
- 3. Storms drains and sewers, in including manholes, benching, covers, etc.
- 4. Watermain and service pipes including WV, SC, AV covers, markers, etc

TYPE OF INSPECTION

- 1. 50% - bond reduction.
- 2. Preliminary inspection.
- 3. Final inspection.

A COPY OF THE SITE LOCATION PLAN WILL BE SUPPLIED.

NOTE --- An early reply is requested as after the expiry of one month it may be assumed that there is no objection by you to the issuing of a certificate, in respect of the development.

Signed [REDACTED]  
Date - 19/11/02

I AM SATISFIED THAT THE ITEMS IN QUESTION HAVE BEEN COMPLETED TO MY SATISFACTION AND I HAVE NO OBJECTION TO THE ISSUE OF THE CERTIFICATE AND RELEASE OF BOND.

Signed - [REDACTED]  
Date - 21/11/02

I WOULD OBJECT TO THE ISSUE OF THE CERTIFICATE AND RELEASE OF BOND, AS DETAILED IN ENCLOSED REPLY.

Signed -  
Date -





# Memo

**Date:** 23/01/02

**To:** 

**Cc:** 

**From:** 

**RE:** Private Streets Polly Bros sites request for bond reductions

---

I refer to this developer's request for bond reductions on various sites.

As explained to them by phone recently no reductions can be given until Water Service have issued a Preliminary certificate and it is up to the developer to obtain this certificate from Water Service by completing whatever work they require.

Road Service have requested Water service to allow bond reductions on the following list of sites but they have been refused.

R201/2 Malone Heights

R211 /4/5 Ardfem

R273 /1-5 The Meadows

R345 Hunters Mill

When the developer has obtained the preliminary W S certificate then we will reinspect and assess the amount of reduction to be allowed.



Private Streets Section

Structures & New Works

[Redacted]

D.O.E. Roads Service,  
Rathkeltair House,  
Market Street,  
Downpatrick,  
Co. Down.



File Reference No ADM5/01/R345

4th December 2001

Dear Sir,

RE:- ROAD BOND AT STREAM STREET, DOWNPATRICK

We wish to apply for a reduction in the Road Bond at the above project.

The following work has been completed to a considerably number of dwellings,

- 1. Roads basecoated
- 2. Footpaths basecoated and asphalted to finish surfaces.

We would be grateful if you could give this matter your consideration.

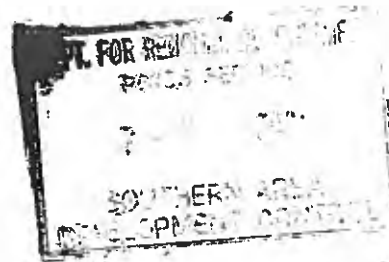
Yours faithfully,

[Redacted Signature]

DIRECTOR, POLLY BROS. LTD.

Polly Brothers Limited  
38 Ballyhorman Road,  
Downpatrick,  
County Down,  
BT30 6RH.

Telephone : 028 4461 2592  
Fax : 028 4461 3815



[Redacted]

0763 67  
4931



Rathkeltair House  
Market Street  
DOWNPATRICK  
BT30 6AJ

Telephone: (028) 44 618000  
Fax: (028) 4461 8188

Polly Brothers Limited  
38 Ballyhorman Road  
DOWNPATRICK  
Co Down  
BT30 6RH

18 February 2010

Our Ref: R345

DOWN PRIVATE  
18 FEB 2010  
STREETS REC'D

Dear Sirs

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980  
DEVELOPMENT AT HUNTERS MILL, STREAM STREET, DOWNPATRICK  
(BOND VALUE £12,600)**

I refer to the Private Streets development at the above-mentioned location and shown coloured red and green on the attached plan.

Despite the fact that the houses in the streets have been occupied for some time you have failed to complete the street works.

Article 21 of the Private Streets (Northern Ireland) Order 1980 places a duty on the Department to ensure that the street works are carried out to its satisfaction within a reasonable period of time following occupancy of the buildings.

I would, therefore, inform you that unless work has started to bring the street works up to the required standard within 28 days from the date of this letter the Department intends to issue a notice under Article 11 of the above Order requiring the works to be executed.

This office should be notified when the work is being commenced.

A copy of this letter has today been forwarded to National House Building Council, Buildmark House, Chiltern Avenue, Amersham, Buckinghamshire, HP6 5AP, Ref: 01445/01.

Yours faithfully

  
Authorised Officer

Polly Bros. Limited  
38 Ballyhornan Rd  
Downpatrick  
Co Down  
BT30 6RN

Your Ref:  
Our Ref:R345  
04 January,2011

Dear Sir/Madam

**THE PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980  
DEVELOPMENT AT HUNTERS MILL STREAM ST DOWNPATRICK  
STAGE 1**

I enclose a notice requesting you to make up (part of ) the private street known as HUNTERS MILL STREAM ST DOWNPATRICK.

The notice is in the form required by Article 11 of the Private Streets (Northern Ireland) Order 1980. It is, however, the intention of the Department should you fail to comply with the terms of the notice, to arrange for the carrying out of the work and to apportion the cost as provided in the Order.

In due course after completion of the work you will receive a demand for the amount due. It has been estimated that the amount that will fall to be paid by you will amount to £12,600.00.

This figure is given in good faith but it is emphasised that it is approximate only and without prejudice to the amount which may be demanded at a later date.

Yours faithfully

[Redacted Signature]

Authorised Officer

DOWN PRIVATE  
06 JAN 2011  
STREETS REC'D

**DEPARTMENT FOR REGIONAL DEVELOPMENT**

**THE PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980**

**DEVELOPMENT AT HUNTERS MILL STREAM ST DOWNPATRICK  
STAGE 1**

**NOTICE UNDER ARTICLE 11 REQUIRING CARRYING OUT OF STREET  
WORKS IN PRIVATE STREET Hunters Mill Stream St Downpatrick**

WHEREAS the said street shown coloured Red And Green on the attached plan Ref No R345 is not sewered, levelled, paved, channelled and made good to the satisfaction of the Department and whereas the said premises have a frontage to such street.

NOW THEREFORE the Department hereby gives you notice as the responsible person in accordance with Article 11 of the Private Streets (Northern Ireland) Order 1980 to carry out street works, as indicated hereunder within the space of 28 days from the date hereof.

Nature and Extent of Street Works

Complete roads,sewers and street lighting to Roads Service standard as shown on drawing no. 1b approved by Planning Service on 23/02/00 under Planning Application R/1115/98

In accordance with the provisions of Article 12 of the Private Streets (Northern Ireland) Order 1980 you may appeal against this Notice to a court of summary jurisdiction on either or both of the following grounds:-

- a. that you are not the responsible person;
- b. that the street is not a private street.

Any appeal to the court must be made within a period of 28 days from the date on which this Notice is served on you and after you have served notice of the appeal on the Department stating the grounds of the appeal, as required by paragraph (2) of Article 37 of the Order.

Signed:   
(Authorised Officer)

04 January 2011

To: National House Building Council  
NHBC House  
Davy Avenue Knowlhill  
Milton Keynes  
BUCKINGHAMSHIRE MK5 8FP

Your Ref:  
Our Ref: R345  
Date: 4 January 2011

Dear Sir/Madam

**THE PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980  
DEVELOPMENT AT HUNTERS MILL STREAM ST DOWNPATRICK  
STAGE 1  
DEVELOPER Polly Bros. Limited**

Please find enclosed for your information a photocopy of a notice which was issued today to the developer of the above site.

Detailed below is the road bond which covers this area:

**DATE ROAD BOND SEALED 08/06/2001**  
**INITIAL BOND VALUE £42,000.00**  
**CURRENT RESIDUAL BOND VALUE £12,600.00**

Yours faithfully

[Redacted Signature]

Authorised Officer

**THE PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980  
DEVELOPMENT AT HUNTERS MILL STREAM ST DOWNPATRICK  
STAGE 1**


Form 'A' Article 11

**LAND REGISTRY OF NORTHERN IRELAND  
STATUTORY CHARGES REGISTER**

Application by the Department for Regional Development for the registration in the Statutory Charges Register of Notices served under Article 11 of the Private Streets (Northern Ireland) Order 1980.

1. The street affected by the said Notices is Hunters Mill Stream St Downpatrick , and is situate in the  
Townland of Down  
Parish of Down  
Barony of Lecale Lower  
County of Down and the  
City of  
and is more particularly described on the map lodged herewith Ref R345.
2. The said Notices which were directed to the responsible persons referred to in the Schedule hereto informed them that they were required to execute within 28 days from the date of the said Notices the certain street works indicated therein.

The application is made pursuant to paragraph 18(a) of Schedule 11 to the Land Registration Act (Northern Ireland) 1970.

Signed   
(Authorised Officer)  
04 January 2011

**Schedule**

Name and Address of Responsible Person

Polly Bros. Limited  
38 Ballyhornan Rd  
Downpatrick  
Co Down  
BT30 6RN

## Hunter's Mill, Downpatrick.

File Ref: R345

Snag list as of 2<sup>nd</sup> June 2010. (Updated 10<sup>th</sup> December 2010)

### General Points

- All areas to be weed killed, footway and carriageway scuffed and cleaned.
- Gullies to be cleaned out and jetted to ensure that the line is working satisfactory, pipes in gullies to be cut flush.
- All kerbs to be pointed and repaired where necessary.
  
- TAA Approval required for 2 retaining walls constructed in this development.
- At street light no.25 the patch on the footway needs redone – 3m x 2m
- Along the site frontage the lay-by needs planed out and relaid with a 40mm overlay – 65m x 2.5m
- At street light no.23 the BT Box on the footway needs reset and the surrounding area patched – 3m x 2m
- At street light no.1 a patch is required on the footway – 20m x 2m, 3 water tobies to be reset and 10m of kerbing to be redone.
- At house no.27 the fence needs removed from the service strip.
- Several gardens need topsoiled in the service strip to be level with the kerbline.
- At house no.25 the gully on the carriageway needs lowered and a 2m x 1m patch required.
- At house no.24 the sunken BT Box on the footway needs reset, 1 water toby needs reset and a 5m x 2m patch.
- At house no.23 the water toby on the footway needs reset and the surrounding area patched.
- At house no.19 an additional gully is required in the carriageway, 10m of drainage pipe and a 10m x 1m patch.
- Between house nos.16 - 22 the footway needs redone, a 45m x 2m patch will be required, 5 water tobies and a BT Box will need reset.
- At house no.14, 4m of damaged pin kerbs at the driveway will need replaced and the surrounding area patched.
- Between house nos.1 - 6 the footway needs redone – a 22m x 2m patch will be required, 6 water tobies and a BT Box will need reset.
- At the parking bay the footway will need redone, a 7m x 2m patch will be required.
- At the cul-de-sac an additional gully will be required, 10m of drainage pipe and a 10m x 1m patch on the carriageway.

  
04/06/10

**SERVICE STRIPS**

It is the responsibility of the landowner to ensure that service strips are kept free from obstructions. The maximum height of buildings on the development shall not exceed 10m. The Department will not accept any agreement between the developer and the landowner for service strips.



Standard Plan Ref R345  
Part Traditional Layout with roads and footways coloured red.  
Type 5A layout with roads and entrances coloured red  
Service verges green.

<b>Taggart Mac Randal Partnership</b> Chartered Architects 67 St. Patrick's Avenue, Downpatrick Tel. 0396 612530 Fax. 0396	Project Private Housing Development at Hunter's Mill. Stream Street, Downpatrick, Co. Down	Date Dec 1999 Scale 1:1250
	MESSRS POLLY BROS.	Drawn By

[REDACTED]

---

**From:** [REDACTED]  
**Sent:** 22 February 2011 08:15  
**To:** [REDACTED]  
**Subject:** RE: Hunters Mill, Downpatrick

[REDACTED]

Contractor will commence work on site on Monday 21st February for 1 - 1.5 weeks. Will you please arrange for a rechargeable code to be set up.

Thanks  
[REDACTED]

---

**From:** [REDACTED]  
**Sent:** 21 February 2011 15:17  
**To:** [REDACTED]  
**Cc:** [REDACTED]  
**Subject:** Hunters Mill, Downpatrick  
**Importance:** High

[REDACTED]

Under the Private Streets (Northern Ireland) Order 1980 Roads Service issued on the 4th January 2011 a notice in the form required by Article 11 requesting the make up of Hunters Mill. As the developer has failed to comply with the terms of this notice I would request you arrange for the carrying out of works in order to bring the site up to an adoptable standard.

Can you please confirm a start and finish date of the above works.

Regards,

[REDACTED]  
Development Control & Private Streets.



[Redacted]

**From:** [Redacted]  
**Sent:** 02 June 2011 11:26  
**To:** [Redacted]  
**Subject:** FW: Hunters Mill, Vianstown Road, Downpatrick

For Info

[Redacted]

**From:** [Redacted]  
**Sent:** 01 June 2011 13:38  
**To:** [Redacted]  
**Cc:** [Redacted]  
**Subject:** RE: Hunters Mill, Vianstown Road, Downpatrick

[Redacted]

Finally got looking at the DVD. The bottom end of the site is bad. The pipes have sunk between the manholes and we need to check the final leg before it connects to the NIW sewers

[Redacted] has returned from sick leave and hopefully will sort this out with yourself and request that the remainder of the sewers be CCTVed  
We will need persons to do manhole inspection.

I will get [Redacted] to contact you

Regards

[Redacted]

**northern ireland water**  
NEWRY CITY OFFICE  
Carnbane Industrial Estate  
Tandragree Road  
NEWRY  
BT35 6QJ

Tel: 08457 440088 Ext: [Redacted]  
Web: www.niwater.com

 Please consider the environment before printing this e-mail

**From:** [Redacted]  
**Sent:** 09 May 2011 10:56  
**To:** [Redacted]  
**Subject:** RE: Hunters Mill, Vianstown Road, Downpatrick

Thanks [Redacted]  
You couldn't put a timescale on it could you as we were being asked by MLA's before election and I don't imagine they will change there line now

[REDACTED]

---

**From:** [REDACTED]  
**Sent:** 09 May 2011 09:55  
**To:** [REDACTED]  
**Subject:** RE: Hunters Mill, Vianstown Road, Downpatrick

[REDACTED]

I received the CCTV survey but need to check through it. Please do not finalise adoption yet until I check the CCTV survey.

Regards

[REDACTED]

**northern ireland water**  
NEWRY CITY OFFICE  
Carnbane Industrial Estate  
Tandragree Road  
NEWRY  
BT35 6QJ

Tel: 08457 440088 Ext: [REDACTED]  
Web: [www.niwater.com](http://www.niwater.com)

 Please consider the environment before printing this e-mail

---

**From:** [REDACTED]  
**Sent:** 05 May 2011 09:32  
**To:** [REDACTED]  
**Subject:** Hunters Mill, Vianstown Road, Downpatrick

[REDACTED]

Approximately 4 weeks ago [REDACTED] delivered a copy of the camera survey for the above development to your office in Newry, admittedly you were not there but he witnessed it being placed in your office. As Roads Service have now completed the work necessary to bring the road to an adoptable standard already have a preliminary certificate and have no negative feed back from NI Water I will proceed with the adoption of this development.

Regards

[REDACTED]

[REDACTED]

---

**From:** [REDACTED]  
**Sent:** 08 January 2014 12:50  
**To:** [REDACTED]  
**Cc:** [REDACTED]  
**Subject:** FW: Enquiry Report

**Attachments:** Report - 87861.PDF

[REDACTED]

Blocked gully / flooding complaint.

This is an Article 11 enforcement site with road service work completed about 3 years ago, we are still waiting on NIW confirming what they require, so it has still not been adopted . I assume as we served Article 11 we are responsible for it and any further repairs since that notice. Our contractors 12 month maintenance has expired a long time ago and we would have to appoint another contractor to do any more work.

Therefore at present the section office would provide grit bins for these sites, can they be requested to clean the gullies as well?

Perhaps you could discuss with Reynold Nicholson and advise me what way you decide to proceed.

On the same topic even if has not been adopted, are the Department responsible for any trips/defects and therefore should the site be inspected for on a regular basis ?

Please discuss

Regards

[REDACTED]

---

**From:** [REDACTED]  
**Sent:** 08 January 2014 12:07  
**To:** [REDACTED]  
**Subject:** FW: Enquiry Report

---

**From:** [REDACTED]  
**Sent:** 08 January 2014 10:53  
**To:** [REDACTED]  
**Subject:** FW: Enquiry Report

[REDACTED]

As per [REDACTED] call, can you please ring [REDACTED] re; Road side gullies on an unadopted area.

Attached copy of enquiry.

Thanks

[REDACTED]

Down Section Office  
Ext. [REDACTED]

---

**From:** [DoNotReply@wdm.co.uk](mailto:DoNotReply@wdm.co.uk) [<mailto:DoNotReply@wdm.co.uk>]  
**Sent:** 08 January 2014 09:55  
**To:** [REDACTED]  
**Subject:** Enquiry Report



Report - 87861.PDF  
(155 KB)



# Enquiry Details Report

**Enquiry Reference:** E1400205 **Assigned to:** [REDACTED]

**Enquiry Date:** 08-January-2014 **Enquiry Class:** Informal

**Enquiry Category:** Public Enquiry **Section Office:** DOWN

**Enquiry Type:** Gully

**Action:** I HAVE RANG HER BACK TO SAY THIS IS NOT ADOPTED BY ROADS SERVICE AND TO CONTACT [REDACTED] WITHIN

**Location:** [REDACTED] HUNTER MILL STREAM ST DOWNPATRICK - AREA IS NOT ADOPTED

**Road Name:** 7065U6001\_01 - STREAM ST1 - DOWN

**Section Code:** 7065U6001\_01

**Defect Description:** BLOCKED GULLIES - PASSED TO [REDACTED] HE IS GOING TO RING HER

**Enquiry or Defect Source:** [REDACTED]

**Action Taken:**

Take Action

No Further Action

**If Take Action:**

Defect

Road Service Referral

Emergency Response Third Party

Third Party Referral

Road Service Emergency Response

**Inventory Type:**

\_\_\_\_\_

**Defect Detail:**

\_\_\_\_\_

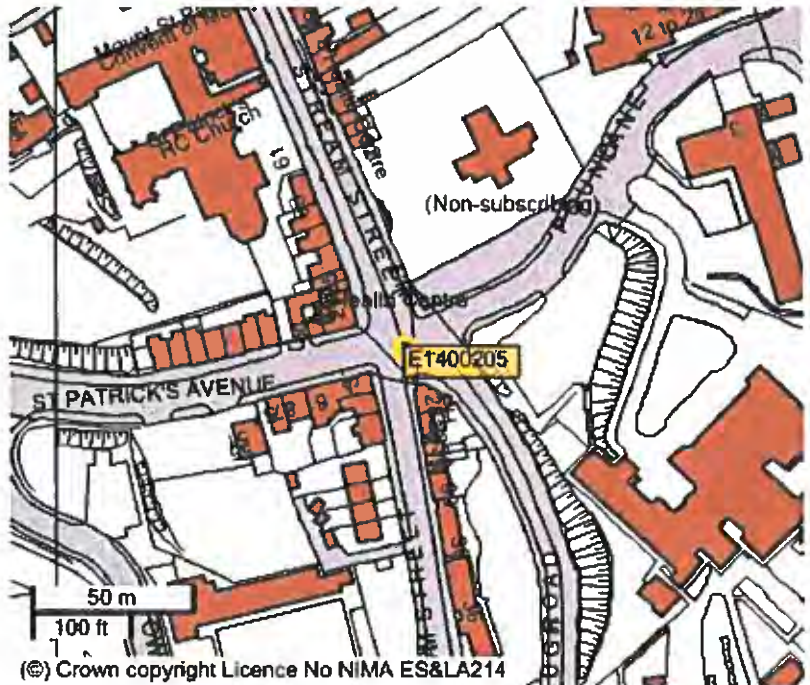
**If No Further Action (reason):** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



Enquiry Ref: E1400205

**Attendance Inspector:** \_\_\_\_\_

**Attendance Date:** \_\_\_\_\_

**ROADS  
SERVICE**  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel [REDACTED]  
Fax (01396) 812630

**Your Ref R345  
DATE 21/08/06**

[REDACTED]  
Ratheltair House  
Ballydugen Road  
**Downpatrick**  
**County Down**  
BT307QW

Dear [REDACTED]

On visiting the site at Steam Street Downpatrick

I noticed that the contractor was sent a letter on the 30/03/06 about the general work to be completed.  
Contractor has not phone back on this.

[REDACTED]  
Private Street

ROADS  
SERVICE  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel [REDACTED]  
Fax (01396) 812630

[REDACTED]  
Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW

**Your Ref R345**  
**DATE 12/06/06**

Dear [REDACTED]

Stream Street Downpatrick

I noticed that the contractor was sent a letter on the 30/03/06 about these phases. The contractor has not started to work on them at the last inspection.

[REDACTED]  
Private Street

**ROADS  
SERVICE**  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Te [REDACTED]  
Fax (01396) 812630

[REDACTED]  
Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW

**Your Ref R345  
DATE 08/02/06**

Dear [REDACTED]

**Stream Street DownPatrick**

I noticed that the contractor has not worked on it for a long time. The contractor was sent a final inspection on the 19/08/05 and no repairs have started so that we can adopt. The contractor also got a letter on the 28/02/05 about the technical approval

[REDACTED]  
Private Street

## FINAL INSPECTION

FILE REF: ADM5-01-R345

LOCATION :- DownPatrick

SITE NAME :- Huntres Lane

DEVELOPER :- Polly Bros

BOND DATE :

AMOUNT HELD AT PRESENT :-

WATER SERVICE ON FINAL :- (NO)

### GENERAL WORK TO BE COMPLETED

1. Clean out all road gullies, and ensure that the drainage system is in good working order.
2. Jet all the outlet pipes from the road gullies.
3. Sweep the carriageway / footway, and clear away all debris.
4. Replace all broken kerbs, and repair all lightly chipped kerbs, with an epoxy resin.
5. Remove all the weeds, grass etc. from the carriageway / footway, and spray with an approved weed killer.

### ADDITIONAL WORK TO BE COMPLETER

- (A) Opp street light number 17, Patch footpath.
- (B) Between house number 10/28, Make up verge.
- (B) House number 24 Reset pin kerbs and patch.
- (C) House number 23 reset kerbs and patch.
- (D) house number 1, Patch C/way.
- (E) opp house number reset kerbs and patch
- (F) T A S for wall that is along site line and remove tar from face of wall, Plus replace fence and even up the to of the wall.
- (G) Street light number 23, Steam street patch around B t Box.

  
Private Street Foreman  
19/8/2005



**ROADS  
SERVICE**  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel [REDACTED]  
Fax (01396) 812630

[REDACTED]  
Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW

**Your Ref R345**  
**DATE 15/04/05**

Dear [REDACTED]

Hunter's Lane Downpatrick

I noticed that the contractor has not work on this site for a long time.

This has been on Preliminary adoption from 08/09/2003

[REDACTED]  
Private Street

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	06/12/10	Time arrived on site:	11:00	Total Inspection Time*: *(include travelling time)	15 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Dale of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:					

**Current State of Site:**

(including details of houses/site nos. occupied)

No further work has been done to this development, we have discussed this development with [REDACTED] and [REDACTED] in Development Control and they have agreed to issue the Article 11 Enforcement Notice for this development.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	13/09/10	Time arrived on site:	12:15	Total Inspection Time*: *(include travelling time)	15 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this development, we are waiting on word from the Enforcement Section with regard to the next stage for trying to adopt this development.</p>					
<p><b>Details of Work ongoing on Site:</b></p>					
<p><b>Issues Raised with Developer on Site:</b></p>					
<p><b>Other Comments:</b></p>					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	06/09/10	Time arrived on site:	10:30	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:
	No			
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this development, we have compiled a snag list of the work required and it has been costed and passed to [REDACTED] DC Enforcement for action.</p>				
<p><b>Details of Work ongoing on Site:</b></p>				
<p><b>Issues Raised with Developer on Site:</b></p>				
<p><b>Other Comments:</b></p>				

/ Continue overleaf if required

## Hunter's Mill, Downpatrick.

File Ref: R345

Snag list as of 2<sup>nd</sup> June 2010. (Updated 10<sup>th</sup> December 2010)

### General Points

- All areas to be weed killed, footway and carriageway scuffed and cleaned.
- Gullies to be cleaned out and jetted to ensure that the line is working satisfactory, pipes in gullies to be cut flush.
- All kerbs to be pointed and repaired where necessary.
  
- TAA Approval required for 2 retaining walls constructed in this development.
- At street light no.25 the patch on the footway needs redone – 3m x 2m
- Along the site frontage the lay-by needs planed out and relaid with a 40mm overlay – 65m x 2.5m
- At street light no.23 the BT Box on the footway needs reset and the surrounding area patched – 3m x 2m
- At street light no.1 a patch is required on the footway – 20m x 2m, 3 water tobies to be reset and 10m of kerbing to be redone.
- At house no.27 the fence needs removed from the service strip.
- Several gardens need topsoiled in the service strip to be level with the kerbline.
- At house no.25 the gully on the carriageway needs lowered and a 2m x 1m patch required.
- At house no.24 the sunken BT Box on the footway needs reset, 1 water toby needs reset and a 5m x 2m patch.
- At house no.23 the water toby on the footway needs reset and the surrounding area patched.
- At house no.19 an additional gully is required in the carriageway, 10m of drainage pipe and a 10m x 1m patch.
- Between house nos.16 - 22 the footway needs redone, a 45m x 2m patch will be required, 5 water tobies and a BT Box will need reset.
- At house no.14, 4m of damaged pin kerbs at the driveway will need replaced and the surrounding area patched.
- Between house nos.1 - 6 the footway needs redone – a 22m x 2m patch will be required, 6 water tobies and a BT Box will need reset.
- At the parking bay the footway will need redone, a 7m x 2m patch will be required.
- At the cul-de-sac an additional gully will be required, 10m of drainage pipe and a 10m x 1m patch on the carriageway.

04/06/10

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	02/06/10	Time arrived on site:	09:40	Total Inspection Time*: <small>*(include travelling time)</small>	50 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current State of Site:</b> <small>(including details of houses/site nos. occupied)</small></p> <p>We carried out an inspection of this development to determine the work required to take this development up to adoption standards, a snag list of the work has been detailed and will be costed and forwarded onto [REDACTED] DC for issuing to the developer's surety.</p>					
<p><b>Details of Work ongoing on Site:</b></p>					
<p><b>Issues Raised with Developer on Site:</b></p>					
<p><b>Other Comments:</b></p>					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	18/05/10	Time arrived on site:	12:30	Total Inspection Time*: <small>*(include travelling time)</small>	20 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current State of Site:</b> <small>(including details of houses/site nos. occupied)</small></p> <p>No further work in this development, we have been advised by DC that a costing of work required should be done for this site to enable it to be adopted.</p>					
<p><b>Details of Work ongoing on Site:</b></p>					
<p><b>Issues Raised with Developer on Site:</b></p>					
<p><b>Other Comments:</b></p>					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	22/02/10	Time arrived on site:	12:10	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:
	No			
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this development, an Article 21 letter was issued to the developer on 18 February 2010 advising that work should start within 28 days to complete this development or the necessary action will be taken.</p> <p>We will await the response from the developer/ surety.</p>				
<p><b>Details of Work ongoing on Site:</b></p>				
<p><b>Issues Raised with Developer on Site:</b></p>				
<p><b>Other Comments:</b></p>				

/ Continue overleaf if required



## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	03/12/09	Time arrived on site:	10:30	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:
	No			
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this development.</p>				
<p><b>Details of Work ongoing on Site:</b></p>				
<p><b>Issues Raised with Developer on Site:</b></p>				
<p><b>Other Comments:</b></p>				

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	11/09/09	Time arrived on site:	12:45	Total Inspection Time*: *(include travelling time)	20 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this development; [REDACTED] is to resolve various problems with Development Control in order to progress this development.</p>					
<p><b>Details of Work ongoing on Site:</b></p>					
<p><b>Issues Raised with Developer on Site:</b></p>					
<p><b>Other Comments:</b></p>					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:				RSC Job No.:	
Date of Inspection:	17/06/09	Time arrived on site:	11:45	Total Inspection Time*: <small>*(include travelling time)</small>	30 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:	<div style="background-color: black; width: 100px; height: 15px; display: inline-block;"></div> (Polly Homes) and Engineers from Doran Consulting.				

### Current State of Site:

(including details of houses/site nos. occupied)

We met the above individuals on site and discussed the major problems with this development –

- TAA Approval for the retaining walls.
- Sight Line has not been provided on the county side of this development (4.5m x 70m approx.)

Brian advised that they will consider the possibilities and advise us of the outcomes.

### Details of Work ongoing on Site:

### Issues Raised with Developer on Site:

### Other Comments:

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	10/06/09	Time arrived on site:	10:00	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:
	No			
Names of any Developer's Personnel spoken to on Site:				

**Current State of Site:**

(including details of houses/site nos. occupied)

No further work on site, we inspected this site prior to the meeting with [REDACTED] (Developer) next Wednesday.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	07/05/09	Time arrived on site:	11:15	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:
	No			
Names of any Developer's Personnel spoken to on Site:				

**Current State of Site:**

(including details of houses/site nos. occupied)

No further work has been done to the carriageways or footways in this development.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	10/02/09	Time arrived on site:	Total Inspection Time*: *(Include travelling time)	
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:	** Name of person making request:	
	No			
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this development, the developer has carried out some requested remedial work but there are still various items to be completed which have been listed in the letter issued to him in November 2007.</p>				
<p><b>Details of Work ongoing on Site:</b></p>				
<p><b>Issues Raised with Developer on Site:</b></p>				
<p><b>Other Comments:</b></p>				

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Stream Street, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	20/11/08	Time arrived on site:	Total Inspection Time*: *(include travelling time)	
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:	** Name of person making request:	
	No			
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to the items listed in the letter to the developer, some patching was carried out but that was all. There are major issues regarding TAA Approval for 2 walls and sight lines to be provided at the entrance.</p>				
<p><b>Details of Work ongoing on Site:</b></p>				
<p><b>Issues Raised with Developer on Site:</b></p>				
<p><b>Other Comments:</b></p>				

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	08/09/08	Time arrived on site:	Total Inspection Time*: *(include travelling time)	
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:	** Name of person making request:	
	No			
Names of any Developer's Personnel spoken to on Site:				

**Current State of Site:**

(including details of houses/site nos. occupied)

No further work has been carried out to the items listed in our letter to the developer in November 2007.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required



## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	02/06/08	Time arrived on site:	Total Inspection Time*: *(include travelling time)	
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:	** Name of person making request:	
	No			
Names of any Developer's Personnel spoken to on Site:				

**Current State of Site:**

(including details of houses/site nos. occupied)

The patching has been completed in this development which was listed in the letter dated 14 November 2007, there are still various items to be looked at.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Stream St, Downpatrick.	PS Ref. No.:	R345
Inspector's Name:	[REDACTED]	RSC Job No.:	
Date of Inspection:	31/03/08	Time arrived on site:	
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:	Total Inspection Time*: *(include travelling time)
	No		
Names of any Developer's Personnel spoken to on Site:			

**Current State of Site:**

(including details of houses/site nos. occupied)

A letter was issued to the developer in November 2007 and a subsequent meeting was held with [REDACTED] (Polly's Foreman) in January 2008, some work has been carried out to the carriageways and footways, various items still to be attended too.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	15/01/08	Time arrived on site:	Total Inspection Time*: <small>*(include travelling time)</small>	
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:	** Name of person making request:	
	No			
Names of any Developer's Personnel spoken to on Site:				

**Current State of Site:**(including details of houses/site nos. occupied)

Met with [REDACTED] Foreman Polly Brothers and advised of work required on site as per letter issued to Polly Brothers to progress development.

The only additional item is a service strip infringement at the turning head, a fence has been erected.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	04/01/08	Time arrived on site:	Total Inspection Time*: *(include travelling time)	
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:	** Name of person making request:	
	No			
Names of any Developer's Personnel spoken to on Site:				

**Current State of Site:**

(including details of houses/site nos. occupied)

This development has been completed; no work has been carried out from the letter issued to the developer in November 2007, awaiting TAS Approvals for retaining walls.

At the turning head within the development a new boundary fence has been erected in the service strip.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	29/10/07	Time arrived on site:	Total Inspection Time*: *(include travelling time)	
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:	** Name of person making request:	
	No			
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>Building work completed on site, all houses occupied.</p> <p>Work taking place to house which has subsided.</p>				
<p><b>Details of Work ongoing on Site:</b></p>				
<p><b>Issues Raised with Developer on Site:</b></p>				
<p><b>Other Comments:</b></p> <p>Inspected development for any remedial work required, snag list prepared.</p>				

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Lane, Stream St, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	09/10/07	Time arrived on site:	Total Inspection Time*: <small>*(include travelling time)</small>	
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:	** Name of person making request:	
	No			
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current State of Site:</b> <small>(including details of houses/site nos. occupied)</small></p> <p>Development completed, all houses constructed and carriageways and footways completed with wearing courses.</p>				
<p><b>Details of Work ongoing on Site:</b></p> <p>Major reconstruction work being carried out to dwelling which is collapsing.</p>				
<p><b>Issues Raised with Developer on Site:</b></p>				
<p><b>Other Comments:</b> Site visit with Terry problems found –</p> <p>Retaining wall needs TAA Approval.  Geotechnical approval required for ground conditions.  At house no.24 up to manholes on carriageway defective wearing course to be cut out and patched.  At house no.25 on carriageway defective area around gully to be cut out and patched with bitmac wearing course.</p>				

## PRIVATE STREETS INSPECTION RECORD

Private Street Name: Steam Street Downpatrick			Date: 02/03/07
Private Street Job No: R345			Time:
Dev Control Ref No:		Time Spent on site: (include traveling time)	
Inspection at Developers Request (tick as appropriate)	Yes		Date of Request:
	No	No	
<b>Personnel on Site:</b> Developers Staff DRD Staff			
<b>Current State of Site:</b>  Just the same as last inspection			
<b>Details of Work ongoing on Site:</b>  			
<b>Issues Raised with Developer:</b>  			
<b>Other Comments:</b>  			

## PRIVATE STREETS INSPECTION RECORD

Private Street Name: Steam Street		Date: 20/11/06				
Private Street Job No: R345		Time:				
Dev Control Ref No:		Time Spent on site: (include traveling time)				
Inspection at Developers Request (tick as appropriate)	<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%; text-align: center;">Yes</td> <td style="width: 50%;"></td> </tr> <tr> <td style="text-align: center;">No</td> <td style="text-align: center;">No</td> </tr> </table>	Yes		No	No	Date of Request:
Yes						
No	No					
<b>Personnel on Site:</b> Developers Staff DRD Staff						
<b>Current State of Site:</b>  I noticed that a letter was sent to him about this site .Letter sent on the 16/03/06. contractor has not got back to me. Can this be passed to <span style="background-color: black; color: black;">XXXXXXXXXX</span>						
<b>Details of Work ongoing on Site:</b>  						
<b>Issues Raised with Developer:</b>  						
<b>Other Comments:</b>  There is no plans for street lighting						



## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:				RSC Job No.:	
Date of Inspection:	27/09/11	Time arrived on site:	10:45	Total Inspection Time*: *(include travelling time)	20 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:	
	No	<input type="checkbox"/>			
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current state of site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this development, Roads Service has completed all the necessary remedials except for the completion of the "Disabled" parking bay road marking at the lay-by.</p> <p>We re waiting on a response from NI Water regarding the condition of the sewers and what can be done.</p>					
<p><b>Details of work ongoing on site:</b></p>					
<p><b>Issues raised with Developer on site:</b></p>					
<p><b>Other comments:</b></p>					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:				RSC Job No.:	
Date of Inspection:	04/07/11	Time arrived on site:	12:20	Total Inspection Time*: <small>*(include travelling time)</small>	20 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current State of Site:</b> <small>(including details of houses/site nos. occupied)</small></p> <p>The lay-by has been completed with the bitmac w/c, the disabled car parking bay needs white lined. Within the development the snag list has been completed.</p> <p>We are waiting on NI Water advising of the outcome of the storm and sewers.</p>					
<p><b>Details of Work ongoing on Site:</b></p>					
<p><b>Issues Raised with Developer on Site:</b></p>					
<p><b>Other Comments:</b></p>					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	<b>Hunters Mill, Downpatrick.</b>		PS Ref. No.:	<b>R345</b>
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	<b>27/06/11</b>	Time arrived on site:	<b>10:50</b>	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	<b>Yes**</b>	** If Yes - Date of Request:		<b>15 mins</b>
	<b>No</b>			
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this development, we are waiting on NI Water to contact us regarding the clearance of the storm and sewers.</p> <p>Northstone are due on site today to plane off and relay 40mm of bitmac w/c on the lay-by along the frontage.</p>				
<p><b>Details of Work ongoing on Site:</b></p>				
<p><b>Issues Raised with Developer on Site:</b></p>				
<p><b>Other Comments:</b></p>				

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	21/03/11	Time arrived on site:	12:25	Total Inspection Time*: *(include travelling time)	25 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>All the necessary patching work has been carried out, an additional gully will be required prior to the rumble strip but until NI Water contact us with the work required we will not install a new gully.</p>					
<p><b>Details of Work ongoing on Site:</b></p>					
<p><b>Issues Raised with Developer on Site:</b></p>					
<p><b>Other Comments:</b></p>					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	16/03/11	Time arrived on site:	12:10	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	** if Yes - Date of Request:		** Name of person making request:
	No			
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>Northstone's squad are on site and are patching the footways, they have based the footways and will lay the wearing course this afternoon. I contacted [REDACTED] to ensure that the old material is cleared from this development this afternoon, he said that he will clear it away today.</p>				
<p><b>Details of Work ongoing on Site:</b></p>				
<p><b>Issues Raised with Developer on Site:</b></p>				
<p><b>Other Comments:</b></p>				

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	15/03/11	Time arrived on site:	09:00	Total Inspection Time*: *(include travelling time) <b>30 mins</b>
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:
	No			
Names of any Developer's Personnel spoken to on Site:	[REDACTED]			

**Current State of Site:**

(including details of houses/site nos. occupied)

We met [REDACTED] on site, he advised that if we install a new gully where the water is ponding the pipe to link it to the storm system is already full of water, the storm and sewer system in this development is an issue. We advised that we will wait on the cctv survey to be viewed by NI Water and they advise of the work required before we install the additional gully.

The survey should be completed today by Down Drains.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	14/03/11	Time arrived on site:	12:20	Total Inspection Time*: <small>*(include travelling time)</small>	30 mins
Inspection at Developers Request (✓ as appropriate)	Yes**		** If Yes - Date of Request:	** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:	[REDACTED]				
<p><b>Current State of Site:</b> <small>(including details of houses/site nos. occupied)</small></p> <p>Work is continuing in this development, the gully is being installed along Stream Street and Down Drains are on site carrying out the camera survey to be submitted to NI Water, they advised me that the sewers had collapsed on part of this development.</p>					
<p><b>Details of Work ongoing on Site:</b></p>					
<p><b>Issues Raised with Developer on Site:</b></p>					
<p><b>Other Comments:</b></p>					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick.		PS Ref. No.:	R345	
Inspector's Name:	[REDACTED]		RSC Job No.:		
Date of Inspection:	10/03/11	Time arrived on site:	14:50	Total Inspection Time*: <small>*(include travelling time)</small>	25 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** if Yes - Date of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current State of Site:</b> <small>(including details of houses/site nos. occupied)</small></p> <p>Northstone's prep squad have started on site, they have started lifting off the defective footways. I advised them of the other work required as well as general points like scuffling off weeds, cleaning gullies, pointing kerbs etc.</p> <p>I spoke to the owner of house no [REDACTED] and advised her that the fence which has been erected over the service strip will need taken back by 2 metres. She said that this would be ok and I told the squad to take care when removing the fence.</p>					
<p><b>Details of Work ongoing on Site:</b></p>          					
<p><b>Issues Raised with Developer on Site:</b></p>          					
<p><b>Other Comments:</b></p>          					

/ Continue overleaf if required



## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	02/03/11	Time arrived on site:	12:15	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:
	No			
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current State of Site:</b> (including details of houses/site nos. occupied)</p> <p>Northstone are due to commence work under the Article 11 Enforcement Notice, as yet they have not started on site.</p>				
<p><b>Details of Work ongoing on Site:</b></p>				
<p><b>Issues Raised with Developer on Site:</b></p>				
<p><b>Other Comments:</b></p>				

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick.		PS Ref. No.:	R345	
Inspector's Name:	[REDACTED]		RSC Job No.:		
Date of Inspection:	25/02/11	Time arrived on site:	08:00	Total Inspection Time*: <small>*(include travelling time)</small>	25 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:	[REDACTED] (Northstone), [REDACTED] (Contractor)				
<p><b>Current State of Site:</b> <small>(including details of houses/site nos. occupied)</small></p> <p>I met the above individuals on site, we agreed the work to be carried out to this development and [REDACTED] advised that they intend to start next Monday.</p> <p>I advised [REDACTED] that Street Lighting is ok for this development but he will need to get a camera survey carried out for NI Water to get the sewers adopted.</p>					
<p><b>Details of Work ongoing on Site:</b></p>    					
<p><b>Issues Raised with Developer on Site:</b></p>    					
<p><b>Other Comments:</b></p>    					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunter's Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	21/02/11	Time arrived on site:	14:50	Total Inspection Time*: <small>*(include travelling time)</small>	30 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	** If Yes - Date of Request:		** Name of person making request:	
	No				
Names of any Developer's Personnel spoken to on Site:	[REDACTED] (Northstone)				

**Current State of Site:***(including details of houses/site nos. occupied)*

[REDACTED] Development Control has advised that we should appoint a contractor to complete this development.

We met [REDACTED] from Northstone and advised him of what work was required to complete this development, He was given a copy of the snag list.

[REDACTED] advised that he will commence work next week.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	<b>Polly Sites</b>		PS Ref. No.:	<b>R273 – R273/9, R201/2, R345</b>
Inspector's Name:			RSC Job No.:	
Date of Inspection:	<b>10/01/11</b>	Time arrived on site:	<b>14:00</b>	Total Inspection Time*: *(include travelling time) <b>2 hours</b>
Inspection at Developers Request (✓ as appropriate)	<b>Yes**</b>	** If Yes - Date of Request:		** Name of person making request:
	<b>No</b>			
Names of any Developer's Personnel spoken to on Site:	Representatives from Privewaterhouse Coopers			

**Current State of Site:**

(including details of houses/site nos. occupied)

We met representatives from PWC who are the administrators for Polly Homes. We discussed the issues with the developments at Malone Meadows, Malone Heights and Hunters Mill Downpatrick.

Malone Heights and Hunters Mill – As both these developments have been completed, PWC opinion would be that they would not be in a position to complete the outstanding work. [REDACTED] advised that the Article 11 Notices have been issued for this sites, PWC will advise the Bank / Surety that no further work will be done to these sites by the administrators.

Malone Meadows – We advised PWC of what work is required in this development, as there is still a phase to be developed and 5-6 houses already constructed in this development which at present are being rented out there is still an opportunity to progress this development. It was agreed that we would meet their appointed Engineers on site before January to discuss the options/ proposals and try and agree the work required. It will be PWC intention to developer this site and complete the work required.

[REDACTED] advised them of the concerns Roads Service have with regard to timescales and that we would be looking for agreement on what will be done by February 2011.

**Details of Work ongoing on Site:****Issues Raised with Developer on Site:****Other Comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	<b>Hunter's Mill, Downpatrick.</b>		PS Ref. No.:	<b>R345</b>
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	<b>09/01/12</b>	Time arrived on site:	<b>11:20</b>	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current state of site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this development, we are waiting on NI Water Approval prior to adoption.</p>				
<p><b>Details of work ongoing on site:</b></p>				
<p><b>Issues raised with Developer on site:</b></p>				
<p><b>Other comments:</b></p>				

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	<b>Hunters Mill, Downpatrick.</b>			PS Ref. No.:	<b>R345</b>
Inspector's Name:	[REDACTED]			TNI D&CS Job No.:	
Date of Inspection:	<b>18/07/16</b>	Time arrived on site:	<b>15:30</b>	Total Inspection Time*: <small>*(include travelling time)</small>	<b>15 mins</b>
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:	
	No	<input type="checkbox"/>			
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current state of site:</b> <small>(including details of houses/site nos. occupied)</small></p> <p>There are NI Water Issues to be resolved prior to adoption.</p>					
<p><b>Details of work ongoing on site:</b></p>					
<p><b>Issues raised with the Developer on site:</b></p>					
<p><b>Other comments:</b></p>					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Developer Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:			TNI D&CS Job No.:	
Date of Inspection:	26/10/15	Time arrived on site:	15:35	Total Inspection Time*: <small>*(include travelling time)</small>
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				

**Current state of site:**

(including details of houses/site nos. occupied)

No further work has been done to this development, NI Water have issues which still need resolved.

There are several more houses which are sinking and have been sealed off.

**Details of work ongoing on site:****Issues raised with the Developer on site:****Other comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Developer Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		TNI D&CS Job No.:	
Date of Inspection:	13/08/15	Time arrived on site:	15:25	Total Inspection Time*: <small>*(include travelling time)</small>
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				

**Current state of site:**(including details of houses/site nos. occupied)

No further work has been done to this development, there are more houses boarded up as subsidence has occurred to them.

We are still waiting on NI Water resolving their issues.

**Details of work ongoing on site:****Issues raised with the Developer on site:****Other comments:**

/ Continue overleaf if required



## PRIVATE STREETS INSPECTION RECORD

Developer Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		TNI D&CS Job No.:	
Date of Inspection:	15/05/15	Time arrived on site:	13:30	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				

**Current state of site:**  
(including details of houses/site nos. occupied)

No further work has been done to this development, we are still waiting on NI Water resolving their issues. There are now more houses sealed off due to subsidence.

We met with [REDACTED] and [REDACTED] from NI Water at the start of May regarding various sites in this area and [REDACTED] will check with [REDACTED] and [REDACTED] for an update.

**Details of work ongoing on site:**

**Issues raised with the Developer on site:**

**Other comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		TNI D&CS Job No.:	
Date of Inspection:	18/02/15	Time arrived on site:	14:25	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				

**Current state of site:**

(including details of houses/site nos. occupied)

No further work has been done to this development, NI Water Approval is still outstanding. There has been some more sinkage involving a block of 4 houses.

I will copy this report to [REDACTED] DC for an update from NI Water.

**Details of work ongoing on site:****Issues raised with the Developer on site:****Other comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	14/11/14	Time arrived on site:	12:25	Total Inspection Time*: <small>*(include travelling time)</small>
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				

**Current state of site:**(including details of houses/site nos. occupied)

No further work has been done to this development, we still require an update from NI Water regarding the adoption of the sewers.

I will speak to [REDACTED] DC again for an update.

**Details of work ongoing on site:****Issues raised with Developer on site:****Other comments:**

/ Continue overleaf if required

<b>PRIVATE STREETS INSPECTION RECORD</b>
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Development Name:	Hunters Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	21/08/14	Time arrived on site:	12:45	Total Inspection Time*: *(include travelling time)	15 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:	
	No	<input type="checkbox"/>			
Names of any Developer's Personnel spoken to on Site:					

**Current state of site:**

(including details of houses/site nos. occupied)

No further work has been done to this development, we are still waiting on NI Water sorting out their issues with this development.

I will copy this report to [REDACTED] DC to see if he can contact them for an update.

**Details of work ongoing on site:****Issues raised with Developer on site:****Other comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	<b>Hunters Mill, Downpatrick.</b>		PS Ref. No.:	<b>R345</b>
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	<b>28/05/14</b>	Time arrived on site:	<b>15:30</b>	Total Inspection Time*: <small>*(include travelling time)</small>
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				

**Current state of site:**(including details of houses/site nos. occupied)

We are waiting on NI Water being resolved in this development, I will contact [REDACTED] DC for an update.

I will copy this report to [REDACTED]

**Details of work ongoing on site:****Issues raised with Developer on site:****Other comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	<b>Hunters Mill, Downpatrick.</b>		PS Ref. No.:	<b>R345</b>
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	<b>18/02/14</b>	Time arrived on site:	<b>12:20</b>	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				

**Current state of site:**

(including details of houses/site nos. occupied)

No further work has been done to this development, we are still waiting on NI Water resolving the issues with the sewers in this development.

I will copy this report to [REDACTED] DC regarding an update from NI Water.

**Details of work ongoing on site:****Issues raised with Developer on site:****Other comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	25/11/13	Time arrived on site:	11:45	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				

**Current state of site:**

(including details of houses/site nos. occupied)

We are waiting on NI Water agreeing what work is required and what cost is involved, the fence in the service strip at house no.26 has been put up again.

**Details of work ongoing on site:****Issues raised with Developer on site:****Other comments:**

NI Water meeting was held in Rathkeltair House  
on 13th Nov 13

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	02/09/13	Time arrived on site:	11:10	Total Inspection Time*: <small>*(include travelling time)</small>	20 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:	
	No	<input type="checkbox"/>			
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current state of site:</b> <small>(including details of houses/site nos. occupied)</small></p> <p>No further work has been done to this development, we are still waiting on NI Water sorting out the issues they have with the sewers. We have had several meeting with them about this development and as yet no answer has been given from them with regards to sorting out the problems.</p> <p>I will copy this report to [REDACTED] DC for an update from NI Water.</p>					
<p><b>Details of work ongoing on site:</b></p>					
<p><b>Issues raised with Developer on site:</b></p>					
<p><b>Other comments:</b></p>					

/ Continue overleaf if required



<b>PRIVATE STREETS INSPECTION RECORD</b>
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Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	07/06/13	Time arrived on site:	11:15	Total Inspection Time*: *(include travelling time)
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current state of site:</b> (including details of houses/site nos. occupied)</p> <p>We are still waiting on NI Water resolving their issues in this development.</p>				
<p><b>Details of work ongoing on site:</b></p>				
<p><b>Issues raised with Developer on site:</b></p>				
<p><b>Other comments:</b></p>				

/ Continue overleaf if required

<b>PRIVATE STREETS INSPECTION RECORD</b>
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Development Name:	Hunters Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	11/03/13	Time arrived on site:	11:00	Total Inspection Time*: *(include travelling time)	15 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:	
	No	<input type="checkbox"/>			
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current state of site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this development, Structures Section are ok with the retaining walls so the main issue is NI Water Clearance.</p> <p>I noticed that there has been a fence erected over the service strip to the rear of this development, during our remedial work this fence was set back.</p>					
<p><b>Details of work ongoing on site:</b></p>					
<p><b>Issues raised with Developer on site:</b></p>					
<p><b>Other comments:</b></p>					

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.		PS Ref. No.:	R345
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	17/12/12	Time arrived on site:	13:40	Total Inspection Time*: <small>*(include travelling time)</small>
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				

**Current state of site:**(including details of houses/site nos. occupied)

No further work has been done to this development, we are waiting on NI Water Issues to be resolved.

**Details of work ongoing on site:****Issues raised with Developer on site:****Other comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	<b>Hunters Mill, Downpatrick.</b>		PS Ref. No.:	<b>R345</b>
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	<b>25/09/12</b>	Time arrived on site:	<b>11:00</b>	Total Inspection Time*: <small>*(include travelling time)</small>
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				
<p><b>Current state of site:</b> <small>(including details of houses/site nos. occupied)</small></p> <p>Roads Service have completed all the necessary works under Article 11 Enforcement, we are still waiting on NI Water resolving their Issues and TAA Approvals for the retaining walls.</p> <p>These permissions are required before we can adopt this development.</p>				
<p><b>Details of work ongoing on site:</b></p>				
<p><b>Issues raised with Developer on site:</b></p>				
<p><b>Other comments:</b></p>				

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	<b>Hunter's Mill, Downpatrick.</b>		PS Ref. No.:	<b>R345</b>
Inspector's Name:	[REDACTED]		RSC Job No.:	
Date of Inspection:	<b>26/06/12</b>	Time arrived on site:	<b>15:00</b>	Total Inspection Time*: <small>*(include travelling time)</small>
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:
	No	<input type="checkbox"/>		
Names of any Developer's Personnel spoken to on Site:				

**Current state of site:**(including details of houses/site nos. occupied)

No further work has been done to this site. We are still waiting on NI Water coming back to us regarding the sewers in this development.

**Details of work ongoing on site:****Issues raised with Developer on site:****Other comments:**

/ Continue overleaf if required

## PRIVATE STREETS INSPECTION RECORD

Development Name:	Hunters Mill, Downpatrick.			PS Ref. No.:	R345
Inspector's Name:	[REDACTED]			RSC Job No.:	
Date of Inspection:	03/04/12	Time arrived on site:	15:25	Total Inspection Time*: *(include travelling time)	15 mins
Inspection at Developers Request (✓ as appropriate)	Yes**	<input type="checkbox"/>	** If Yes - Date of Request:	** Name of person making request:	
	No	<input type="checkbox"/>			
Names of any Developer's Personnel spoken to on Site:					
<p><b>Current state of site:</b> (including details of houses/site nos. occupied)</p> <p>No further work has been done to this phase, we have completed the necessary snag work but are still waiting on NI Water Clearance. There are issues with the sewers in this development which NI Water are aware of and we have been waiting on an answer from them for a considerable period of time now. They had previously issued the Preliminary Adoption for this site prior to the issues arising.</p>					
<p><b>Details of work ongoing on site:</b></p>					
<p><b>Issues raised with Developer on site:</b></p>					
<p><b>Other comments:</b></p>					

/ Continue overleaf if required

## BITUMINOUS GRADING REPORT

(Tested in accordance with BS 598 : Part 102 : 1996)

Lab. Report No. : 2EB0749 / 1

Project : PRIVATE STREETS - Polly Bros Ltd  
Location : HUNTER MILL STREAM ST NR RUMBLE STRIP  
Project Engineer: T SPARY (P KELLY) *R345*

Sample Ref. No. :00947  
Date Sampled : 29/04/2002  
Sampled By : CONT  
Sample Point : Lorry

Material : 15/10 Asphalt Wearing Course (Sch.1B)  
Specification : BS 594:Part 1:1992 Table 6 Col 2 Sch 1B

Date Received : 09/07/2002  
Date Tested : 17/07/2002

Manufacturer :Whitemountain Surfacing Temple Depot  
Contractor : White Mountain (Surfacing) Ltd

Result Status : Inc.

### BITUMEN CONTENT

Result %	Pass - Cat A (BS Limits)	Fail - Cat B	Fail - Cat C	Remarks
9.5	8.8 - 10.0 *	8.6 - 10.2		

### AGGREGATE GRADING

Sieve Size	Result % Pass	Pass - Cat A (BS Limits)	Fail - Cat B	Fail - Cat C	Remarks
14mm	100	100 *	96 - 100		
10mm	100	95 - 100 *	91 - 100		
6.3mm	79	75 - 95 *	71 - 99		
2.36mm	77	75 - 87 *	73 - 89		
600µm	70	60 - 87 *	58 - 89		
212µm	35	20 - 60 *	18 - 62		
75µm	11.4	11.0 - 15.0 *	10 - 16		
pass 2.36 & ret 600	7.0	Max. 18 *	18 - 20		

Copies to:  
1. Lab  
2. Contractor  
3. Manufacturer  
4. Client

Overall Compliance Category : A  
Bitumen : A  
Aggregate : A  
Pass 2.36mm : A

PRIVATE STREETS  
RATHKELTAIR HOUSE  
MARKET STREET  
DOWNPATRICK

Signed

Laboratory Manager

Date : 17 July 2002



R345

Purpose of Sample: ROUTINE  
Material for : PRIVATE STREETS

Lab Report Number CR01-0634

Sample Ref Number: DKT.253371

Material Type: 15/10 WC ASPHALT COL19 (F) (1B) A19

Date sample taken: 05/06/01  
Date recvd by Lab: 06/06/01  
Date tested : 27/06/01

BS 594:1992 tested to BS 598:Pt 102:1989 (Cl 4.2)

Sample taken by :  
Sample taken from: LORRY

Name of Scheme : DOWN P/STS. 999  
Sample Location: STEAM ST.DOWNPATRICK

Sample tested by [REDACTED]

Manufacturer : WHITE MOUNTAIN (SURFACING) LTD  
Main Contractor: PRIVATE STREET DEVELOPER  
Tested for : [REDACTED]

Test Laboratory : CRAIGAVON  
Div tested for : CRAIGAVON  
Input was : UNPROCESSED  
Result Status : INC

**BITUMEN CONTENT**

Result %	Pass - Cat A (BS limits)	Fail - Cat B	Fail - Cat C	Remarks
9.0	8.8 - 10.0 *	8.6 - 10.2		

**AGGREGATE GRADING**

Sieve Size	Result % pass	Pass - Cat A (BS limits)	Fail - Cat B	Fail - Cat C	Remarks
14mm	100.0	100.0 - 100.0 *	96.0 - 100.0		
10mm	100.0	95.0 - 100.0 *	91.0 - 100.0		
6.3mm	84.0	75.0 - 95.0 *	71.0 - 99.0		
2.36mm	82.0	75.0 - 87.0 *	73.0 - 89.0		
600µm	78.0	60.0 - 87.0 *	58.0 - 89.0		
212µm	38.0	20.0 - 60.0 *	18.0 - 62.0		
75µm	12.1	11.0 - 15.0 *	10.0 - 16.0		
pass 2.36 & ret 600	4.0	0.0 - 18.0 *	18.0 - 20.0		

Customer Copy

[REDACTED]  
D.O.E.ROADS SERVICE -P/STREETS  
CASTLENAVAN QUARRY  
131 NEWCASTLE RD.  
  
SEAFORDE, CO. DOWN

Overall Compliance Category A  
Bitumen : Pass (Cat A)  
Aggregate: Pass (Cat A)  
Pass 2.36: Pass (Cat A)  
Please refer to note 1 overleaf.

[REDACTED]  
Laboratory Manager

02/07/01











**ROADS SERVICE**

Southern Division  
Castleavan Quarry  
131, Newcastle Road  
Seaforde  
Downpatrick  
Co Down BT 30 8PR

[REDACTED]  
Rathkeltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT30 7QW

Tel [REDACTED]  
Fax (02844) 812630

Your Ref R345

Our Ref

Date 6/12/01

Dear [REDACTED]

On visiting site at Steam Street Downpatrick

Terry told me that the contractor could but the old gullies back along the kerb line.  
That he will not have to but new gullies in.

[REDACTED]  
Private Streets Inspector

ROADS SERVICE  
Southern Division  
Castleavan Quarry  
131, Newcastle Road  
Seaforde  
Downpatrick  
Co Down BT 30 8PR

[REDACTED]  
Rathkeltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT30 7QW

Tel [REDACTED]  
Fax (02844) 812630

Your Ref R345

Our Ref:

Date 13/11/01

Dear [REDACTED]

On visiting the site at Steam Street Downpatrick.

I noticed that the contractor has most of the kerbs lay on this site and he has the lay by on the main road finished. Half of the site is up to base level and the other half is up to stone.

[REDACTED]  
Private Streets Inspector.

**ROADS SERVICE**  
Southern Division  
Castleavan Quarry  
131, Newcastle Road  
Seaforde  
Downpatrick  
Co Down BT 30 8PR

[REDACTED]  
Rathkeltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT30 7QW

Tel [REDACTED]  
Fax (02844) 812630

Your Ref R345

Our Ref:  
Date 05/09/01

Dear [REDACTED]

On visiting the site Steam Street Downpatrick, I noticed that the contractor has started on phase two of the wall. He still has not but in the gullies along the first part of the site line.

[REDACTED]  
Private streets Inspector

**ROADS SERVICE**

**Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down**

**Tel (01396) 812618  
Fax (01396) 812630**

**Your Ref R345  
Our Ref**

11/06/2001

  
**Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW**

Dear 

On visiting the site at Stream Street, Downpatrick I noticed that the contractor has part of the footpaths on this site finished and that part of the carriageway is up to base level, still waiting on the ATS report for the wall along the site line. Contractor is still to put in gullies along this area too.

**B/F TWO MONTHS**

Yours sincerely





**ROADS SERVICE**  
Southern Division  
Castleavan Quarry  
131, Newcastle Road  
Seaforde  
Downpatrick  
Co Down BT 30 8PR

[REDACTED]  
Rathkeltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT30 7QW

Tel [REDACTED]  
Fax (02844) 812630

Your Ref R345

Our Ref  
Date 30/05/01

Dear [REDACTED]

On visiting site at Stream Street Downpatrick I noticed that the contractor is getting ready for the bitmac square that's coming tomorrow

B/F  
TWO MONTHS

Yours sincerely

[REDACTED]  
Private streets Inspector

ROADS SERVICE  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel [REDACTED]  
Fax (01396) 812630

[REDACTED]  
Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT30 7QW

Your Ref R345  
Our Ref

19/05/ 2001

Dear [REDACTED]

On visiting the site at Stream Street, Downpatrick I got the contractor to move entrances to the houses as he had three driveways in one, I got him to split them to make it a two in one. He is going to be basing this in a couple of weeks

BF TWO MONTHS

Yours sincerely

[REDACTED]

**ROADS SERVICE**

Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel [REDACTED]  
Fax (01396) 812630

[REDACTED]  
Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW

**Your Ref R**  
**Our Ref**

10/04/ 2001

Dear [REDACTED]

On visiting the site at Steam Street Downpatrick,

I noticed that the contractor has started to work on this site. He has the footpath up to stone level and is going to base it on tomorrow. He is going to finish of the rest of the site within two weeks

**BF TWO MONTHS**

Yours sincerely

[REDACTED]

**ROADS SERVICE**

Southern Division  
Castleavan Quarry  
131, Newcastle Road  
Seaforde  
Downpatrick  
Co Down BT 30 8PR

[REDACTED]  
Rathkeltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT30 7QW

Tel [REDACTED]  
Fax (02844) 812630

Your Ref R345

Our Ref  
Date 30/04/01

Dear [REDACTED]

On visiting site at Steam Street Downpatrick, I noticed that the contractor has laid kerbs along the site. Looking at the plan and wot on site it is not the same. The contractor has moved all of the entrances some of them are three into one. This is across for the main road coming into the site.

B/F  
TWO MONTHS

Yours sincerely

[REDACTED]  
Private streets Inspector

ROADS SERVICE  
Southern Division  
Castleavan Quarry  
131, Newcastle Road  
Seaforde  
Downpatrick  
Co Down BT 30 8PR

[REDACTED]  
Rathkeltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT30 7QW

Tel [REDACTED]  
Fax (02844) 812630

Your Ref R345

Our Ref:  
Date 30/03/01

Dear [REDACTED]

On visiting the site at Steam street D/patrick, I noticed that the contractor has started laying kerbs. He has one side of the side line finished and 232m on site. Had to get him to move some kerb because they where not getting 5.5m road the rest of the site is ok.

B F  
TWO MONTHS

Yours sincerely

[REDACTED]  
Private streets Inspector

REPORT FORM REFERENCE ADM5/01/R345  
 PRIVATE STREETS (CONSTRUCTION) REGULATIONS (NI)1994

DEVELOPER: *Polly*  
 DEVELOPMENT: *Steam St*

CHECK LIST FOR SATISFACTORY WORK.		DATE CHECKED	PASS	FAIL
1. Siting of access onto public road.		<i>side line not finished</i>	<i>30/3/01</i>	
2. Visibility splays & radii at public road junction.				
3. Visibility splays & radii at internal road junctions.				
4. Forward sight distances.				
5. Carriageway widths / verges / footways.		<i>30/3/01</i>	<i>✓</i>	
6. Turning areas at hammerheads.		<i>30/3/01</i>	<i>✓</i>	
7. Siting of garages / entrances / levels.		<i>30/3/01</i>	<i>✓</i>	
8. Speed Control Islands & Mountable Shoulders.				
9. Road Drainage (No. gullies) & Discharge Point..				
10. Road Gradients & Junction Gradients.				
<i>Measured Details of construction work completed.</i>				
a. Carriageway Sub Base.	Metres:	<i>7.0m</i>	<i>✓</i>	
b. Carriageway Road Base.	Metres.	<i>7.0m</i>	<i>✓</i>	
c. Kerbs.	Metres.	<i>232m</i>	<i>✓</i>	
d. Base Course.	Metres.			
e. Carriageway Wearing Course.	Metres.			
f. Footway Base Course.	Metres.			
g. Footway Wearing Course.	Metres.			
<b>Foreman's Notes :</b> <i>not done till the plan</i>				
<b>Foreman's Signature.</b>				

7/3/01

ROADS SERVICE  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Fax (01396) 812630

Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW

Your Ref R345  
Our Ref

03/3/2001

Dear [redacted]

On visiting the site at Stream Street, Downpatrick, I was talking to the contractor about the wall that he has to build for his site line. He told me that he can build a new wall at the back of the old wall that was there and that he will get an engineers report for this. He will soon be starting to work on the roads as the owners were meant to move in at Christmas.

B/F TWO MONTHS

Yours sincerely

[redacted]

7/3/01 Foundations dry reinforcement being installed

[redacted] to monitor wall bedding  
Arrange concrete cubes to be tested  
Check reinforcement + Photograph  
TAS to follow.

[redacted]

Structures will monitor site for  
still work to be informed

**ROADS SERVICE**

Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Te [REDACTED]  
Fax (01396) 812630

**Your Ref R345**  
**Our Ref**

28 October 2000

[REDACTED]  
Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW

Dear [REDACTED]

On visiting the site at Stream Street, Downpatrick

I noticed that contractor is still building his houses but has not started on the road and will not be starting them for a while.

**BF TWO MONTHS**

Yours sincerely

[REDACTED]



**ROADS SERVICE**

Southern Division  
Castleavan Quarry  
131, Newcastle Road  
Seaforde  
Downpatrick  
Co Down BT 30 8PR

[REDACTED]  
Rathkeltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT30 7QW

Tel [REDACTED]  
Fax (02844) 812630

Your Ref: R345

Our Ref:  
Date 28/7/2000

Dear [REDACTED]

On site visited at Steam Street Downpatrick, I noticed that contractor has on started on the road he is still building away.

B/F  
TWO MONTHS

Yours sincerely

[REDACTED]  
Private streets Inspector

**ROADS SERVICE**  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

[REDACTED]  
Fax (01396) 812630

**Your Ref R345**  
**Our Ref**

15/01/ 2000

[REDACTED]  
Ratheltair House  
Ballydugen Road  
**Downpatrick**  
County Down  
BT307QW

Dear [REDACTED]

On visiting the site at Stream Street, Downpatrick I noticed that the contractor is still working on the houses and has not started on the road.

**BF TWO MONTHS**

Yours sincerely

[REDACTED]

REPORT FORM REFERENCE ADM5/01/ R345  
 PRIVATE STREETS (CONSTRUCTION) REGULATIONS (NI)1994

DEVELOPER: *Polly Brothers LTD*  
 DEVELOPMENT: *Stam & Down Street*

CHECK LIST FOR SATISFACTORY WORK.		DATE CHECKED	PASS	FAIL
1. Siting of access onto public road.		8.6.01		
2. Visibility splays & radii at public road junction.		25.4.01		✓
3. Visibility splays & radii at internal road junctions.		8.6.01		
4. Forward sight distances.		8.6.01		
5. Carriageway widths / verges / footways.		25.4.01	✓	
6. Turning areas at hammerheads.		8.6.01		✓
7. Siting of garages / entrances / levels.		25.4.01		
8. Speed Control Islands & Mountable Shoulders.				
9. Road Drainage (No. gullies) & Discharge Point..				
10. Road Gradients & Junction Gradients.				
<i>Measured Details of construction work completed.</i>				
a. Carriageway Sub Base.	Metres: 78m	8.6.01	✓	
b. Carriageway Road Base.	Metres. 78m	8.6.01	✓	
c. Kerbs.	Metres. 159m	25.4.01	✓	
d. Base Course.	Metres. <del>158</del>			
e. Carriageway Wearing Course.	Metres.			
f. Footway Base Course.	Metres. 158	8.6.01	✓	
g. Footway Wearing Course.	Metres. 158	8.6.01	✓	
<u>Foreman's Notes :</u>				
<u>Foreman's Signature.</u>				



**ROADS  
SERVICE**  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel [REDACTED]  
Fax (01396) 812630

[REDACTED]  
Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW

**Your Ref R345**  
DATE 08/09/03

Dear [REDACTED]

On visiting the site at Hunter's Lane Downpatrick

I noticed that the contractor has finished the site. The contractor didn't phone me to tell me that they had finish. Will be looking for a report for the samples.

[REDACTED]  
Private Street

## PRELIMINARY INSPECTION

FILE REF: ADM5-01-R345

LOCATION :- Downpatrick

SITE NAME :-Hunter's Lane

DEVELOPER :- Polly Brothers

BOND DATE :-08/06/2001     AMOUNT £42,000

AMOUNT HELD AT PRESENT :- £42,000

WATER SERVICE ON MAINTENANCE :-                    yes

### GENERAL WORK TO BE COMPLETED

1. Clean out all road gullies.
2. Sweep the carriageway / footway, and clear away all debris.
3. Replace all broken kerbs, and repair all lightly chipped kerbs, with an epoxy resin.

### ADDITIONAL WORK TO BE COMPLETED

- (A) Report for sample Base & wearing course
- (B) Test dig on wearing course
- (C) T.A.S for wall along site line

Signed                      08/09/2003  
Private Street Inspector.

ROADS  
SERVICE  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel [REDACTED]  
Fax (01396) 812630

[REDACTED]  
Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW

**Your Ref R345**  
DATE 20/02/03

Dear [REDACTED]

On visiting the site at Hunter mill Downpatrick

I noticed that the contractor is still working away on site. Told by him that they will be finished around July. Most of the site is up to base level.

[REDACTED]  
Private Street

**ROADS  
SERVICE**  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel [REDACTED]  
Fax (01396) 812630

**Your Ref R345**  
**DATE 20/11/02**

[REDACTED]  
Ratheltair House  
Ballydugen Road  
**Downpatrick**  
County Down  
BT307QW

Dear [REDACTED]

On visiting the site at Steam Street D/Patrick

I noticed that the contractor is still working away on the site. The contractor has most of the site built. The c/way is up to base level and the footpaths are finished. The contractor has still to put in the gullies on the main road.

[REDACTED]  
Private Street





**ROADS SERVICE**

Castlenavan Quarry  
131, Newcastle Road  
Seaford  
Downpatrick  
Co Down BT 30 8PR

[REDACTED]  
Rathkeltair House  
Ballydugen Road  
Downpatrick  
BT 30 7QW

Tel [REDACTED]  
Fax (02844) 812630

Your Ref R345  
Date 07/10/02

Dear [REDACTED]

On visiting site at, Hunter Lane D/Patrick

I noticed that the contractor is still working away on this site. He is hoping to start on the last block of houses before Xmas.

[REDACTED]  
Private Street Inspector





**ROADS SERVICE**

Castlennan Quarry  
131, Newcastle Road  
Seaford  
Downpatrick  
Co Down BT 30 8PR

Tel [REDACTED]  
Fax (02844) 812630

Your Ref R345  
Date 09/07/02

[REDACTED]  
Bathkaltair House  
Ballydugan Road  
Downpatrick  
BT 30 7QW

Dear [REDACTED]

On visiting site at, Hunter Lane Downpatrick

I noticed that the contractor has the c/way all in base and the footpaths are finished. The contractor is still building away on site. The contractor has still to put in gullies on the main road.

[REDACTED]  
Private Street Inspector



**ROADS SERVICE**

Castlenavan Quarry  
131, Newcastle Road  
Seaforde  
Downpatrick  
Co Down BT 30 8PR

[REDACTED]  
Rathkeltair House  
Ballydugen Road  
Downpatrick  
BT 30 7QW

Tel [REDACTED]  
Fax (02844) 812630

Your Ref R345  
Date 29/04/02

Dear [REDACTED]

On visiting site at, Steam Street D/Patrick

I noticed that the contractor has base the rest of this phase. The contractor is hoping to finish the phase in a week.

[REDACTED]  
Private Streets Inspector

**ROADS SERVICE**

Castlenavan Quarry  
131, Newcastle Road  
Seaforde  
Downpatrick  
Co Down BT 30 8PR

Tel (02844) 618169  
Fax (02844) 812630

Your Ref R345  
Date 07/03/02

[REDACTED]  
Rathkeltair House  
Ballydugen Road  
Downpatrick  
BT 30 &QW

Dear [REDACTED]

On visiting site at, Steam Street Downpatrick

I noticed that the contractor has stop work on this site. Contractor has most of this site kerbed and part of this site is in base.

[REDACTED]  
Private Streets Inspector

**ROADS  
SERVICE**  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel [REDACTED]  
Fax (01396) 812630

**Your Ref R345  
DATE 21/08/06**

[REDACTED]  
Ratheltair House  
Ballydugen Road  
**Downpatrick**  
**County Down**  
BT307QW

Dear [REDACTED]

On visiting the site at Steam Street Downpatrick

I noticed that the contractor was sent a letter on the 30/03/06 about the general work to be completed.  
Contractor has not phone back on this.

[REDACTED]  
Private Street



**ROADS  
SERVICE**  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel [REDACTED]  
Fax (01396) 812630

[REDACTED]  
Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW

**Your Ref R345  
DATE 12/06/06**

Dear [REDACTED]

Stream Street Downpatrick

I noticed that the contractor was sent a letter on the 30/03/06 about these phases. The contractor has not started to work on them at the last inspection.

[REDACTED]  
Private Street

## FINAL INSPECTION

FILE REF: ADM5-01-R345

LOCATION :- DownPatrick

SITE NAME :- Huntres Lane

DEVELOPER :- Polly Bros

BOND DATE :

AMOUNT HELD AT PRESENT :-

WATER SERVICE ON FINAL :- ( NO )

### GENERAL WORK TO BE COMPLETED

1. Clean out all road gullies, and ensure that the drainage system is in good working order.
2. Jet all the outlet pipes from the road gullies.
3. Sweep the carriageway / footway, and clear away all debris.
4. Replace all broken kerbs, and repair all lightly chipped kerbs, with an epoxy resin.
5. Remove all the weeds, grass etc. from the carriageway / footway, and spray with an approved weed killer.

### ADDITIONAL WORK TO BE COMPLETER

- ( A ) Opp street light number 17, Patch footpath.
- ( B ) Between house number 10/28, Make up verge.
- ( B ) House number 24 Reset pin kerbs and patch.
- ( C ) House number 23 reset kerbs and patch.
- ( D ) house number 1, Patch C/way.
- ( E ) opp house number reset kerbs and patch
- ( F ) T A S for wall that is along site line and remove tar from face of wall, Plus replace fence and even up the to of the wall.
- ( G ) Street light number 23, Steam street patch around B t Box.

  
Private Street Foreman  
19/8/2005



**ROADS  
SERVICE**  
Southern Division  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
Downpatrick  
Co. Down

Tel (01396) 812618  
Fax (01396) 812630

[REDACTED]  
Ratheltair House  
Ballydugen Road  
Downpatrick  
County Down  
BT307QW

**Your Ref R345  
DATE 15/04/05**

Dear [REDACTED]

Hunter's Lane Downpatrick

I noticed that the contractor has not work on this site for a long time.

This has been on Preliminary adoption from 08/09/2003

[REDACTED]  
Private Street

**Private Streets: Street Lighting Authorisation for 70%, 90% and 100% Bond Release. The 90/100% bond release section is to be used when the site is self certified. (\*delete as appropriate)**

Development:	Hunbers Mill, Stream St, Downpatrick		
Planning Ref No:		Private Streets File No:	R345
Developer:	Polly Brothers Ltd		

Street Lighting Engineer Name:	[REDACTED]		
Division:	Southern	Date:	11/06/09

**Copy of relevant Bond Map to be attached**

The above Developer is requesting 70% bond release, copy attached, can you confirm that the Street lighting is a 100% operational.

Street Lighting approved-proceed with bond reduction	Name:	
	Date:	
Street Lighting not satisfactory-contact Street Lighting Section	Name:	
	Date:	
Please return to:		
Division:		

DOWN PRIVATE  
19 JUN 2009  
STREETS DEPT

\*The above Developer is requesting 90% bond release, copy attached /issue of preliminary certificate for NIHE self certification, can you confirm that the Street lighting conforms.

Street Lighting approved-proceed with certificate issue.	Name:	
	Date:	
Street Lighting not satisfactory-contact Street Lighting Section	Name:	
	Date:	
Please return to:		
Division:		

\*The above Developer is requesting 100% bond release, copy attached /issue of final certificate for NIHE self certification, can you confirm that the Street lighting conforms.

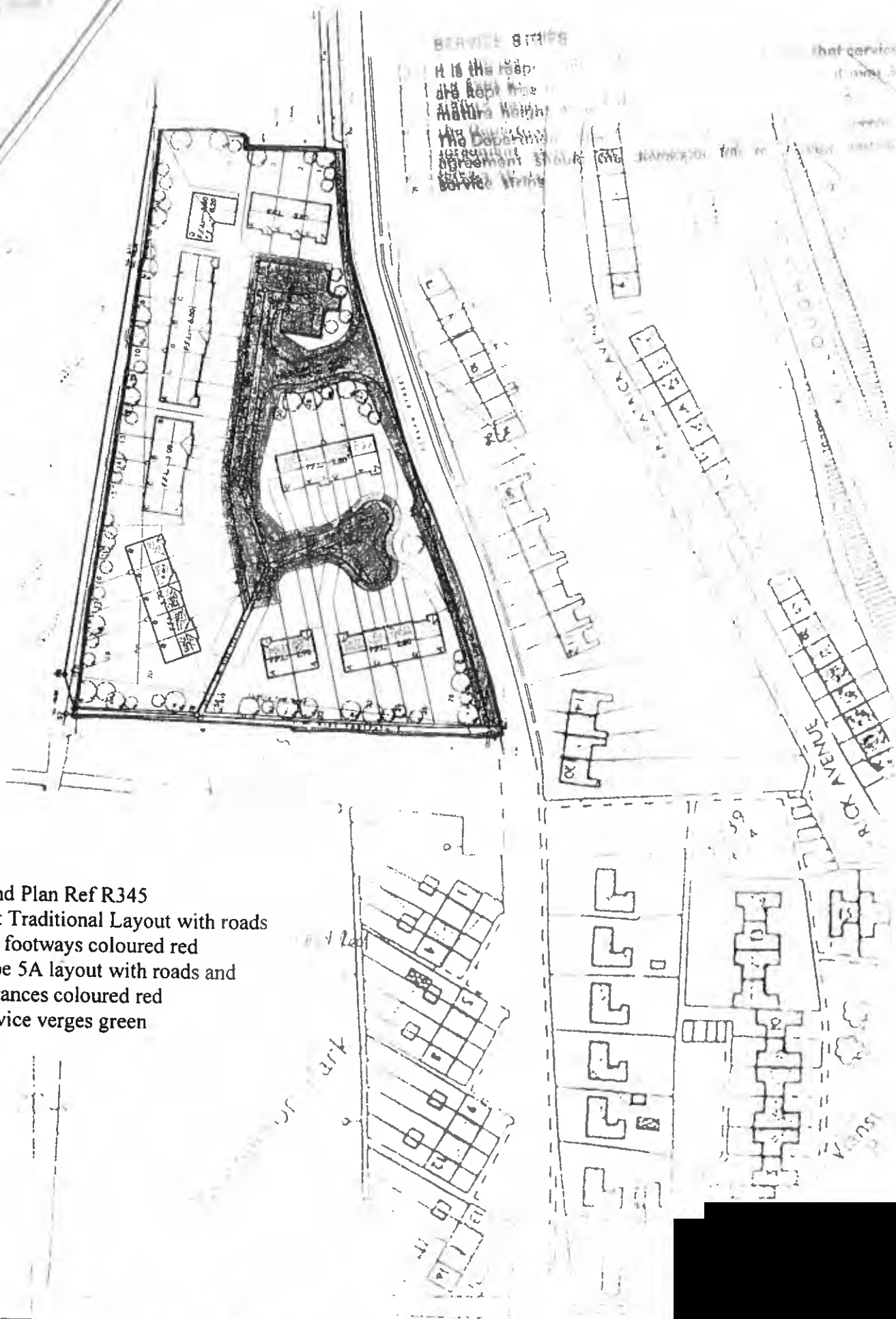
Street Lighting approved-proceed with final adoption	Name:	
	Date:	
Street Lighting not satisfactory-contact Street Lighting Section	Name:	[REDACTED]
	Date:	[REDACTED]
Please return to:		
Division:		



**SERVICE STRIPS**

It is the responsibility of the applicant to ensure that the proposed service strips are kept free of any obstruction. The Department of Transport and Infrastructure will not be responsible for any damage to service strips.

That service strips are kept free of any obstruction.



and Plan Ref R345  
 Traditional Layout with roads  
 and footways coloured red  
 Type 5A layout with roads and  
 transces coloured red  
 service verges green

**Taggart Mac Randal Partnership**  
 Chartered Architects  
 10 Patrick Avenue, Dunfermline  
 Tel: 0393 61570 Fax: 0393

Private Housing Development at Hunter Mill  
 Stream Street, Dunfermline  
**MESSRS POLLY BROS**

Date: Dec 1999  
 1:1250

D.O.E. (N.I.)  
ROADS SERVICE - DOWN DIVISION  
PRIVATE STREETS (N.I.) ORDER 1980 - RELEASE OF BOND.

FROM - [REDACTED] TO - [REDACTED]  
CASTLENAVAN QUARRY, WATER EXECUTIVE.  
131, NEWCASTLE ROAD.  
SEAFORDE

DEVELOPMENT AT - Downpatrick

KNOWN AS - Steam Street

For Polly Bros

A request has been made for the release of road bonds, for the above development.

If the items listed below have been completed to your satisfaction, please sign below and return.

CHECK LIST

1. Combined foul \ storm sewer, including manholes, benching, covers etc.
2. Foul drains and sewers, including manholes, benching, covers etc.
3. Storms drains and sewers, in including manholes, benching, covers, etc.
4. Watermain and service pipes including WV, SC, AV covers, markers, etc

TYPE OF INSPECTION.

- ~~1. Preliminary Certificate inspection.~~
2. Final Certificate inspection.

A COPY OF THE SITE LOCATION PLAN WILL BE SUPPLIED.

NOTE --- An early reply is requested as after the expiry of one month it may be assumed that there is no objection by you to the issuing of a certificate, in respect of the development.

Signed - [REDACTED]

Date - 13/12/2001

I AM SATISFIED THAT THE ITEMS IN QUESTION HAVE BEEN COMPLETED TO MY SATISFACTION AND I HAVE NO OBJECTION TO THE ISSUE OF THE CERTIFICATE AND RELEASE OF BOND.

Signed \_\_\_\_\_  
Date - \_\_\_\_\_

I WOULD OBJECT TO THE ISSUE OF THE CERTIFICATE AND RELEASE OF BOND, AS DETAILED IN ENCLOSED REPLY.

Signed [REDACTED]  
Date 3/01/02.

*Developer to supply tape of CCTV. Survey  
No inspections have been requested, or  
taken place.*

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980  
DEVELOPMENT AT Hunter's Lane Downpatrick**

**DEVELOPER:** Polly Bros

**APPLICATION FOR PRELIMINARY CERTIFICATE**

**OR**

**12 MONTHS MAINTENANCE UNDER ARTICLE 8 (LETTER ONLY)  
(ART.32 BOND)**

Please find attached one copy plan Ref no R308 showing coloured the area for which a report/draft certificate is requested under article

**PRIVATE STREETS SECTION**

**DATE 08/09/2003**

Please complete the following and return to Downpatrick Division:

1. Does plan submitted agree (in all respects) with Article 3(1) Determination and with plan issued when development was put on maintenance. **yes**
2. Has Water Service Clearance been submitted **yes**
3. Is Certificate recommended? ( If 'NO' , please supply List of remedial works etc required) **no**
4. Recommended reduction in Amount of Bond (s) held.

**Length of road to be adopted.**

**DETAILS**

File number	Bond Date	Amount	Reduction	Amount held
R345	42,000	£42,000	90%	£4,100



D.R.D.  
ROADS SERVICE - DOWN DIVISION  
PRIVATE STREETS (N.I.) ORDER 1980 - RELEASE OF BOND.

FROM - [REDACTED] TO - [REDACTED]  
CASTLENAVAN QUARRY, WATER SERVICE  
131, NEWCASTLE ROAD.  
SEAFORDE R345

DEVELOPMENT AT - Downpatrick

KNOWN AS - Hunt lane FOR Polly Broe

A request has been made for the release of road bonds, for the above development.

If the items listed below have been completed to your satisfaction, please sign below and return.

CHECK LIST

1. Combined foul \ storm sewer, including manholes, benching, covers etc.
2. Foul drains and sewers, including manholes, benching, covers etc.
3. Storms drains and sewers, in including manholes, benching, covers, etc.
4. Watermain and service pipes including WV, SC, AV covers, markers, etc

TYPE OF INSPECTION

- 4 1. 70% - bond reduction or Preliminary inspection. ←  
2. Final inspection.

A COPY OF THE SITE LOCATION PLAN WILL BE SUPPLIED.

NOTE --- An early reply is requested as after the expiry of one month it may be assumed that there is no objection by you to the issuing of a certificate, in respect of the development.

Signed - [REDACTED]  
Date - 22/01/07

I AM SATISFIED THAT THE ITEMS IN QUESTION HAVE BEEN COMPLETED TO MY SATISFACTION AND I HAVE NO OBJECTION TO THE ISSUE OF THE CERTIFICATE AND RELEASE OF BOND.

Signed - [REDACTED]  
Date - 12/2/07

I WOULD OBJECT TO THE ISSUE OF THE CERTIFICATE AND RELEASE OF BOND, AS DETAILED IN ENCLOSED REPLY.

Signed -  
Date -

R345

Polly Bros  
38 Ballyhornan Road  
Downpatrick  
County Down  
BT30 6RH

**Southern Division**  
Roads Service Consultancy  
Rathkeltair House  
Market Street  
Downpatrick  
BT30 6AJ

Telephone: (028) 4461 8169  
Fax: (028) 4461 8049  
Email: [terry.spary@drdni.gov.uk](mailto:terry.spary@drdni.gov.uk)  
[www.roadsni.gov.uk](http://www.roadsni.gov.uk)

Our ref: R345

Date: 28 February 2005

Dear Sir or Madam

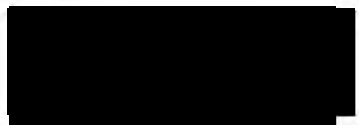
**Technical Approval for Highway Structures at Private Streets Development - Stream Street, Downpatrick.**

Roads Service requires that all proposed structures within the road boundary (6m of a road) or which support the public road are subject to Technical Approval. The objectives of the Technical Approval procedures are to ensure as far as reasonably practical, that highway structures are safe and serviceable in use and fit for the intended purpose.

It has been reported that you have two walls constructed on this site that require approval. I therefore request that you contact Mr. D. Reid at Marlborough House, Central Way, Craigavon, BT64 1AD. Tel. No. 02838 341144 and he will inform you of the procedures for obtaining approval.

Please note that your Development cannot be adopted until Technical Approval is obtained.

Yours Sincerely



**PRIVATE STREETS**



Polly Bros Ltd.  
38 Ballyhornan Road  
Downpatrick  
County Down  
BT30 6RN

**Consultancy**  
Structure & New Works  
Rathkeltair House  
Market Street  
Downpatrick  
County Down  
BT30 6AJ

Telephone: 02844 618149  
Fax: 02844 618049  
Email: [george.buchanan@drdni.gov.uk](mailto:george.buchanan@drdni.gov.uk)  
[www.roadsni.gov.uk](http://www.roadsni.gov.uk)

**Our ref: R345**

Date: March 2006

Dear Sir

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980**  
**Development: Hunter Mill, Stream Street.**

I refer to previous correspondence regarding the above named Development.

A recent inspection has shown that there has been no further progress on completing the work required to bring this development up to adoption standards.

In order to progress this site, please forward to me within 28 days:

1. 6no 1:500 and 6no 1:1250 as constructed drawings.
2. A copy of your T.A.S. approval for the retaining wall.
3. A copy of street lighting approval.
4. A copy of your final Water Service clearance for this development.

If you require any further information and prior to any work commencing on site, please contact [REDACTED] Private Streets inspector [REDACTED]

Yours faithfully

[REDACTED]  
**PRIVATE STREETS**

Mr Brian Polly  
Polly Homes  
38 Ballyhornan Road  
Downpatrick  
Co Down  
BT30 6RH

Structures & New Works  
Rathkeltair House  
Market Street  
Downpatrick  
County Down  
BT30 6AJ

Telephone: 02844 618149  
Fax: 02844 618049  
Email: [george.buchanan@drdni.gov.uk](mailto:george.buchanan@drdni.gov.uk)  
[www.roadsni.gov.uk](http://www.roadsni.gov.uk)

Ref: R345

14 November-2007

Dear Sir

**PRIVATE STREETS (NORTHERN IRELAND) ORDER 1980**  
**Housing Development @ Hunters Mill, Stream Street Downpatrick.**

I refer to your request for preliminary adoption and a bond reduction for this development dated 9/10/2007. The development can not at present be placed on 12 months maintenance or a bond reduction considered until further information is provided and some remedial work completed. The main problems preventing adoption are.

1. Provide Water Service final certificate.
2. TAA approval required for the 2 retaining walls
3. The visibility splay has not been provided at Stream Street.
4. Area of subsidence on the carriageway opposite street light number 6 to be removed, reconstructed and associated kerbs and manholes reset
5. Provide 6 of 1/500 and 6 of 1/1250 plans showing as constructed details including road gully and pipe locations
6. Provide 6 of 1/500 and 6 of 1/1250 plans showing as constructed details including road gully and pipe locations

In addition to the above information, a preliminary inspection has shown some other items also require rectification.

1. Defective footway wearing course to be removed and the area reinstated along the radius kerbs.
2. At street light number 8 defective footway wearing course to be cut out and patched with asphalt.
3. At house no 23 water ponding on carriageway.
4. At rumble strip defective footway wearing course at BT box to be removed and patched.
5. At side of house no.8 on footway defective wearing course to be cut out and patched with asphalt.
6. Gullies need constructed according to the standards cleaned and jetted
7. Topsoil is required around service strip from house number 1 to end of parking bays.
8. General sweeping, weed removal, pointing and replacement of damaged kerbs etc will also be required

Whenever this work is completed and all the requested information provided this area can then be considered for a bond reduction and the issue of a preliminary certificate provided no further defects have occurred.



An Agency within the Department for  
**Regional  
Development**  
[www.drdni.gov.uk](http://www.drdni.gov.uk)



INVESTOR IN PEOPLE

The area remains your responsibility until adoption

If you require any further information or to arrange a site meeting, please contact Mr. T Spary on 02844 618169 or myself on 02844 618149.

Yours faithfully

[Redacted signature]

**PRIVATE STREETS**

[Redacted signature]



# Hunter's Mill, Downpatrick.

File Ref: R345

Snag list as of 2<sup>nd</sup> June 2010.

## General Points

- All areas to be weed killed, footway and carriageway scuffed and cleaned.
- Gullies to be cleaned out and jetted to ensure that the line is working satisfactory, pipes in gullies to be cut flush.
- All kerbs to be pointed and repaired where necessary.
  
- TAA Approval required for 2 retaining walls constructed in this development.
- At street light no.25 the patch on the footway needs redone – 3m x 2m
- Along the site frontage the lay-by needs planed out and relaid with a 40mm overlay – 65m x 2.5m
- At street light no.23 the BT Box on the footway needs reset and the surrounding area patched – 3m x 2m
- At street light no.1 a patch is required on the footway – 20m x 2m, 3 water tobies to be reset and 10m of kerbing to be redone.
- At house no.27 the fence needs removed from the service strip.
- Several gardens need topsoiled in the service strip to be level with the kerbline.
- At house no.25 the gully on the carriageway needs lowered and a 2m x 1m patch required.
- At house no.24 the sunken BT Box on the footway needs reset, 1 water toby needs reset and a 5m x 2m patch.
- At house no.23 the water toby on the footway needs reset and the surrounding area patched.
- At house no.19 an additional gully is required in the carriageway, 10m of drainage pipe and a 10m x 1m patch.
- Between house nos.16 - 22 the footway needs redone, a 45m x 2m patch will be required, 5 water tobies and a BT Box will need reset.
- At house no.14, 4m of damaged pin kerbs at the driveway will need replaced and the surrounding area patched.
- Between house nos.1 - 6 the footway needs redone – a 22m x 2m patch will be required, 6 water tobies and a BT Box will need reset.
- At the parking bay the footway will need redone, a 7m x 2m patch will be required.
- At the cul-de-sac an additional gully will be required, 10m of drainage pipe and a 10m x 1m patch on the carriageway.

  
04/06/10

## Hunters Mill, Downpatrick

**File Ref: R345**

Snag list as of 29/10/07

### General Points

“As Constructed Drawings” required.

Water Service approval required.

Street Lighting has been checked with [REDACTED] and is ok.

Parking bays to be completed along the Vianstown Road – (This is to be carried out by Northstone on behalf of the Roads Service).

Clean out gullies, including stones, bricks and any debris

Treat weeds with weedkiller.

TAS Approval is required for 2 walls constructed at the entrance to the development.

Sight line is required at the entrance to the development.

Defective wearing course on footway along the radius on both sides to be cut out and patched, (Area along kerb line)

There is subsidence in the carriageway opposite street light no.6, area to be cut out and patched.

At house no.23 on carriageway water is ponding in this area, to be cut out and patched.

At rumble strip on the footway at the BT Box, the defective wearing course is to be cut out and patched.

At street light no.8 on footway, the defective wearing course is to be cut out and patched (Area along kerb line).

Topsoil is required along the service strip from House No.1 to end of parking bays to bring up to the level of the kerbs.

[REDACTED]  
31/10/07



**Water**  
Service

**Eastern Division**

Downpatrick Office  
Cloonagh House  
Cloonagh Road  
Downpatrick  
Co Down BT30 6ED

DRD Roads Service  
Private Streets Section  
Castlenavan Quarry  
131 Newcastle Road  
Seaforde  
BT30 8PR

Tel 08457 440088 Ext 26006

Fax (028) 90 354673

Your Ref:

Our Ref: PD 10/99

Date: 27<sup>th</sup> August 2003

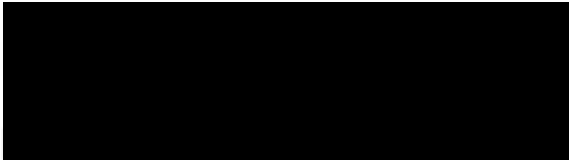
Dear Sir

**RE: Housing Development 'Hunter's Mill', Stream Street, Downpatrick**

Please find enclosed a copy of the certificate of preliminary adoption of sewers for the above named development. The effective date of preliminary adoption is 21<sup>st</sup> August 2003. From this date a 12 month period of maintenance shall commence, during which the developer will remain responsible for the maintenance and operation of the sewers.

If you require any further information please contact me at this office.

Yours faithfully,



Infrastructure Management

THE DEPARTMENT FOR REGIONAL DEVELOPMENT FOR NORTHERN IRELAND  
WATER SERVICE EASTERN DIVISION

Sewers in Connection with New Developments  
Article 17 Agreement

PRELIMINARY CERTIFICATE OF COMPLETION OF SEWERS

Proposer : POLLY BROS LTD

Location of Proposal: HUNTER'S MILL  
STREAM STREET, DOWNPATRICK

Technical Services Office : CLOONASH HOUSE  
DOWNPATRICK

File Reference : PD 10/99

The Department hereby certifies that the sewers / ~~pumping stations / pumping mains / emergency overflows~~ shown on

Drawing Nos: ..... 1B + 1C .....

and particularly described on the attached certificate have been inspected and found to be constructed in a satisfactory manner in accordance with the terms and conditions set out in:

Article 17 Agreement dated : ..... 19th FEBRUARY 2001 .....

From the date given below a 12 month maintenance period shall commence and during this time the proposer shall be responsible for the maintenance and operation of the sewers / ~~pumping stations / pumping mains / emergency overflows~~.

On completion of the maintenance period, and following a request from the proposer, a final inspection shall be carried out. The Eastern Division Infrastructure Manager will issue a 'Certificate of Adoption of Sewers' declaring that the sewers/~~pumping stations/pumping mains/emergency overflows~~ have been adopted by the Department subject to;

1. The requirements of the Article 17 Agreement being met and the sewers/~~pumping stations/pumping mains/emergency overflows~~ being satisfactory in terms of construction and performance.

2. Receipt of:

4 No. sets of 'As Constructed Drawings' complete with Manhole Detail Sheets.

All Consents, Permits and Manuals as requested.

Health and Safety Files for the infrastructure (relevant to the Department's Water Service) within and serving the development site signed off by the appropriate person in accordance with the Construction (Design and Management) Regulations 1994.

If sewers are laid in private property written evidence that where appropriate consents to permit the Department entry for maintenance purposes have been obtained and included in the deeds of the property

3. The land on which any pumping stations and access roads have been constructed being legally transferred to the Department

4. Any 'Consent to Discharge' for emergency overflows issued by the Department's Environment and Heritage Service being transferred into the name of the Department's Water Service.

Dated this, the 21 day of August 2003

Signed

Eastern Division Infrastructure Manager

The Department for Regional Development for Northern Ireland hereby gives notice in accordance with Article 17 of the Water and Sewerage Services (NI) Order 1973 as introduced by the Water and Sewerage Services (Amendment) (NI) Order 1993, that whereas

~~.....~~  
whose registered office is at POLLY BROS LTD  
38 BALLYHORNAN ROAD, DUNPATRICK, BT30 6RH

~~has/have laid sewers / pumping stations / pumping mains / emergency overflows to serve~~  
buildings constructed by ~~him/her/them~~ at HUNTER'S MILL, STREAM STREET,  
DUNPATRICK  
~~.....~~

in conformity with the conditions agreed and now being desirous of having these sewers / ~~pumping stations / pumping mains / emergency overflows~~ adopted by the Department, it is hereby confirmed that the said sewers / ~~pumping stations / pumping mains / emergency overflows~~ shall from 21st AUGUST 2003 be granted a 'Preliminary Certificate of Completion of Sewers'.

The said sewers / ~~pumping stations / pumping mains / emergency overflows~~ are more particularly delineated on Drawing Nos. 1B + 1C Dated FEB 2000.

**1. Foul and Storm Sewers.**

The foul sewers being indicated in solid red and storm water sewers in solid blue colour. The sewers to which this preliminary adoption refers consists of approximately:

148 metres of 150 mm dia, 60 metres of 400 mm dia  
120 metres of 600 mm dia, ..... metres of ..... mm dia  
..... metres of ..... mm dia, ..... metres of ..... mm dia  
of **foul sewer** and,

35 metres of 150 mm dia, 107 metres of 200 mm dia  
34 metres of 400 mm dia, ..... metres of ..... mm dia  
..... metres of ..... mm dia, ..... metres of ..... mm dia  
of **surface water sewer**,

together with 8 No. foul sewer manholes and 7 No. storm sewer manholes.

**McAdam Design**

**Hunter Mill, Downpatrick**

**Geotechnical Report on Geotechnical Report on Sewer  
Rehabilitation**

**Report No. C349.R001**

**May 2017**



## Document Control

Document: Geotechnical Report on Sewer Rehabilitation

Project: Hunter Mill, Downpatrick

Client: McAdam Design

Report Number: C349.R001

Revision	Revision / Review Date	Details of Issue	Reviewed By
00	2 <sup>nd</sup> May 2017	For Information	Mark Cassidy



Cassidy Geotechnical  
190E Saintfield Road, Belfast, BT8 6NN  
E-mail: [info@cassidygeo.com](mailto:info@cassidygeo.com)  
Tel: 028 9079 8700



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## **1.0 Introduction**

Cassidy Geotechnical has been appointed by McAdam Design to prepare a report in relation to the geotechnical aspects of proposed rehabilitation works to the existing storm and sewerage collection system at Hunter Mills in Downpatrick.

The purpose of this report is to assist McAdam design, who are acting on the behalf of NIWater, in developing a repair of the foul and storm sewerage system.

The scope of the report is as follows:

- To summarise site ground and groundwater conditions;
- Provide suitable engineering options for the suggested works;
- Provide general guidance in relation to works and detail any temporary works needed for the safe execution of the scheme; and
- Prepare a preliminary Geotechnical Risk Register based on available information.

This report has not considered explicitly the connection between existing sewerage pipe network and the adjacent drainage system.

## 2.0 Input Documents

The following documents were relevant to the assessment:

### Scheme Drawings

- McAdam Design – E1849-02      Concept Plan
- McAdam Design – E1849-05      Site Investigation Plan
- McAdam Design – E1849-07      CCTV Survey Findings Plan
- McAdam Design – E1166-03      Downpatrick DAS Existing Site Survey

These relevant drawings are included in Appendix A for reference

### Ground Investigation Reports

- Geotechnical and Environmental Services – Ground Investigation for Proposed Foul and Storm Sewer Replacement, Hunters Mill, Downpatrick Co Down. Report No 175/NI/16 January 2017
- Geotechnical and Environmental Services – Ground Investigation for Proposed Storms Storage Tank and Associated Pipelines, Hunters Mill, Downpatrick Co Down. Report No 08/NI/12 March 2012

The second report relates to the NI Water scheme to the west of the Hunters Mill site and includes boreholes along the scheme boundary.

## 3.0 Site Location & Description

### 3.1 Site Location

The site is located towards the centre of Downpatrick town centre and due south of the Eclipse Cinema. The estate is off Stream Street, which serves as an arterial route of entry to the town from South Down.

### 3.2 Site Description

The Hunters Mill development comprises 31 two storey properties. The properties are typically laid out blocks comprises four to six townhouses with two corner semi-detached dwellings. The development includes access roads access road and a turning head. The scheme is approximately 17 years old.

The site levels range from approximately 1.0 to 3.0m above Ordnance Datum (OD). Stream Street, which bounds the site to the east, is approximately 2m higher than the site and as a result the access road slopes downwards into the site. Retaining walls form the site boundary with Stream Street. The west site boundary is open ground forming part of the Downpatrick DAS Hunters Mill Project. Existing levels of this ground was recorded on McAdam Drawing E1166/03 as between 1.0m and 2.0m OD rising to the north.

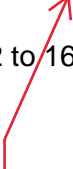
The boundary to the south is a public footpath with Church View Manor beyond.

### 3.3 Site Walkover

A site walkover was carried out on 13 March 2017. Photographs of the site visit are included in Appendix C. Pertinent observations were as follows:

1. The Hunters Mill site is at a lower level than Stream Street. The entrance road slopes approximately 1.5m downwards into the site (refer to Plate 1.)
2. The levels on the Hunters Mill site are visually estimated to be between 1 and 2m higher than the original ground (indicating upfill).
3. For manholes S/F4 and S5/5 there is evidence of differential settlement between manhole and road surface. The manholes have become a hard point within the road and there is reflective cracking. This is most apparent at Manhole S4 were there is approximately 50mm of relative movement (refer to Plate 15). The road surface has been patched up at S4.
4. For the remaining manholes, there is no evidence of relative movement.
5. There is a low point in the road levels near Manhole S3/F3 opposite House Nrs 13 to 15.

6. There is evidence of differential settlement between houses and ground, implying houses are piled and external areas are not. E.g. for House Nrs 6 to 11 100mm level difference is apparent.
7. House Nrs 17 to 21, located in the south west corner of the development, are severely cracked (more than 50mm) and boarded up/cordoned off (refer to Plates 7 to 10). This is a serious issue as the building is likely to collapse if this is not repaired/demolished.
8. There is also very slight to slight cracking in House Nrs 12 to 16 and 22 to 23.



Do houses need demolished prior to our works ?

## 4.0 Project Details

### 4.1 Storm and Foul Sewer System

The storm and foul sewer system run side by side within the access roads. Each system comprises 5 manholes. The existing foul sewer is a 150mm uPVC diameter pipe and the storm system is a 215mm uPVC pipe.

McAdam design carried out a CCTV survey of both pipes. The pertinent information from the survey is presented in Table 4.1.

MH	CL (m LD)	IL (m LD)	Depth to Invert (m bgl)	Comment
S1	101.139	100.029	1.11	S1-S2 Pipe good
S2	100.854	99.504	1.35	S2-S2A Pipe good
S2A	100.512	99.192	1.32	S2A-S3 Pipe good/underwater.
S3	99.851	98.471	1.38	MH S3 blocked
S4	100.064	98.804	1.26	S4 per good
S5	100.743			S5-S4 manhole underwater
Jtn S1				S4-Jn 1 Pipe good underwater
F1	101.066	99.896	1.17	F1-F2 Pipe good
F2	100.874	99.504	1.37	F2-F3 underwater (survey abandoned)
F3	100.743			F3 manhole blocked
F4	100.094	98.804	1.29	F4 settled deposits unable to survey
F5	100.71			F5-F4 Pipe good
Jtn F1				S4-Jn F1 Pipe good underwater

**Table 4.1** Summary of McAdam Design CCTV survey

The storm and foul systems are indicated on the plan to be a gravity system feeding into outlet manholes at the west of the site (near Property 21). The storm system runs from S1, S2, S3, S4 to Jtn S1 with a separate spur from S5 to S4. The foul system is the same. Both systems are indicated to connect into a trunk combined system.

Manhole S2A was not on the original plans, however it is noted that this a connection from the main road, which suggests that the system has been modified. By inspection the significant issue with the system is that manhole S3 and F3 (opposite property 15) have settled excessively relative to the other manholes. There are also high silt levels at the outlet which implies a loss of falls. The trunk combined system was not surveyed due to high silt levels.

## 4.2 Existing Hunters Mill Estate.

Consultations were undertaken with the Northern Ireland Planning Service (*Newry, Mourne and Down Council*) regarding the nature and form of the original development.

The Planning file included Taggart Mac Randal Partnership Site Layout Plan (April 99 Drawing 1b). This drawing shows the site layout as is today with the pipes laid to falls. It also details sections through the foul sewer and storm sewer. The drawing is stamped Planning Permission Granted 23 February 2000. The drawing does not include details of manhole construction. The drawing includes an indication of existing ground level, illustrating that ground levels were raised as part of the development.

MH	CL (m OD)	IL (m OD)	Depth to Invert (m bgl)	Upfill from Existing (m)
S1	-	-	-	-
S2	-	-	-	-
S2A	-	-	-	-
S3	-	-	-	-
S4	2.44	1.09	1.35	0.8
S5	2.02	0.64	1.38	0.8
Jtn S1	-	-	-	-
F1	3.31	2.13	1.18	0.6
F2	3.31	1.96	1.35	0.9
F3	2.65	1.19	1.46	1.5
F4	2.01	1	1.01	0.6
F5	2.47	1.34	1.13	0.8
Jtn F1	1.27	0.14	1.13	0.3
Notes: - Levels not available Drawing 1b has different MH labelling. Labelling above is as per McAdam Drawing E1849 to enable direct comparison Drawing 1b does not include detailed storm pipe S1 to S3				

**Table 4.2** Summary of Manhole Level from Taggart MacRandal Partnership  
(April 99 Drawing 1b)

Table 4.2 summarises the storm and foul sewer pipe levels. The storm and foul sewer sections indicate that the original development included upfilling from original level of between 0.3m and 1.8m.



## **5.0 Ground Conditions**

### **5.1 Published Geology**

The published geology for the site is Estuarine Alluvium and Glacial Till overlying Greywacke Bedrock. The available boreholes indicated the general ground stratigraphy to be made ground overlying Estuarine Alluvium overlying Gravel or stiff Glacial Clay overlying Greywacke.

Sketches C349.SK.01 and 02 included in Appendix B summarise the ground stratigraphy as indicated by the available boreholes. There is a trend in the increase thickness of alluvium increasing from east to west across the site.

### **5.2 Road Construction**

All boreholes encountered tarmac and hardcore at ground surface reflecting their location within the existing access road and footpath. The upper layer was described as tarmac between 50 and 100mm thick.

A granular hardcore layer extended from the underside of the tarmac to between 0.15 and 0.4m below ground level (bgl).

### **5.3 Made Ground**

Made ground was then encountered below the road construction. This layer was variably described as “soft or firm slightly sandy clay” or “loose to medium dense sands and gravel.” The layer contained remnants of historic construction work and urbanisation (cinders, concrete and brick fragments, etc).

The variable nature of this layer is consistent with reworked imported material utilised to upfill site levels.

The material descriptors indicate the made ground to be a medium strength soil.

### **5.4 Alluvium**

A wide range of Alluvium material was encountered on site. The layer was primarily described as “very soft grey silty organic clay containing decayed organics and shell remnants” were uncovered at depth. Small local layers of very soft dark brown sub-amorphous clayey peat, very soft to soft brown silty clays and medium dense to dense light brown grey silty sandy fine to coarse gravels were also present.

C349.SK.01 summarises the depth of this sequence. The depth of this sequence increased from east to west and ranged from 2m to 14.7m.

SPT values in the very soft clay ranged between 0 and 2 which is consistent with extremely low strength and highly compressible geological material. It is anticipated that the undrained shear strength,  $C_u$  of the layer will be between 5 and 10kPa.

### 5.5 Medium Dense to Dense Gravel

Medium dense gravel described as “silty sandy fine to coarse gravel” was encountered at the underside of the Alluvium in BH No.’s 4 and 5. The layer was to the order of 1m thick, water bearing and recorded SPT N values above 20. This layer is a competent and non-compressible soil.

### 5.6 Firm to Stiff Clay (Glacial Till)

Firm to stiff clay was encountered in BH No’s 3, 4 and 5 (2017). SPT N values ranged from 27 to >50 (refusal), which is suggestive of a competent, none compressible soil.

### 5.7 Bedrock

Bedrock was encountered in the five boreholes carried out on the site. The material was described as ‘Destructed Greywacke’ which is consistent with the published Geological Mappage for the area. No cores were recovered within the investigations; however. The rock was encountered close to ground level (1.25m BGL) in BH1, however the appears to dip sharply in a South Westerly direct. In BH 05 (2017) the rock was encountered at 13.6m bgl. The boreholes along the north-west boundary encountered rock at 14.7m bgl adjacent to house 15.

### 5.8 Groundwater

Except for BH No 1 in the 2017 investigation, ground water was encountered in all exploratory holes. A review of the recorded water strikes and associated rises within the borehole suggests that the water table dips from North East to South West across the site. Towards the upper limits of the site, the water table is typically 1.0m BGL and towards the lower limits of the sewer discharge point water is typically encounter at ~ 2.5m BGL. Ground water testing suggested the  $SO_4$  levels on the site and sufficiently small to allow a DS-1 classification.

Of concern is the observation in the 2017 SI report, that a ‘sewerage type odour’ was denoted in BHs 02 and 03 at approximately a 2.0m depth. This is suggestive of pipe fracture or joint leakage and thus the ground in this area is potentially contaminated.

## 5.9 Ground Stratigraphy

Table 4.1 presents the design ground stratigraphy within the site.

<b>Strata</b>	<b>Top of Stratum (m bgl)</b>	<b>Base of Stratum (m bgl)</b>
Road Construction	GL	0.2
Made ground	0.1	1.25 to 3.5
Alluvium	Not present to 3.5	3.75 to 10
Stiff Glacial Till;	3.75 to 10	4.60 to 14.0
Greywacke Rock	1.25 to >15.0	Not Proved

**Table 4.1** Ground Stratigraphy Summary

## 6.0 Sewer Repair Options

### 6.1 Existing Condition of Storm and Foul Sewer

The site inspection revealed that MH S4/F4 and S5/F5 are hard points within the road. It is not known why these manholes have settled less than the adjacent road way. MH S4/F4 are important within the system performance because it is higher than the upstream manhole S3/F3. The level and CCTV survey indicates MH S3 and F3 to be blocked, with settled deposits evident in the pipe from F3 to F4. The invert level of the pipe at S3 is lower than S4 by 333mm, which indicates relative settlement as there is not fall in the pipe. The 'sewerage type odour' recorded in BHs 2 and 3 at approximately a 2.0m depth, suggest either a leakage for the foul pipe or one of the connecting pipes.

BH 2 and 3 in this part of the site indicate the compressible soils to extend to between 7 and 10m bgl. The compressible soils were recorded to a depth of 14.7m in Borehole 7, located just outside the site boundary near property 15. It is possible that the compressible soils are locally deeper near MH S3 & F3, which could account for the high relative settlement at MH S3.

### 6.2 Potential for Settlement of Pipe Work

The Hunters Mill scheme was constructed approximately 17 years ago. The works likely comprised upfilling of the site to between 1 and 2m. The ground investigation identified an average of 2m of made ground overlying highly compressible soils to depths between 4 and 10m below ground level.

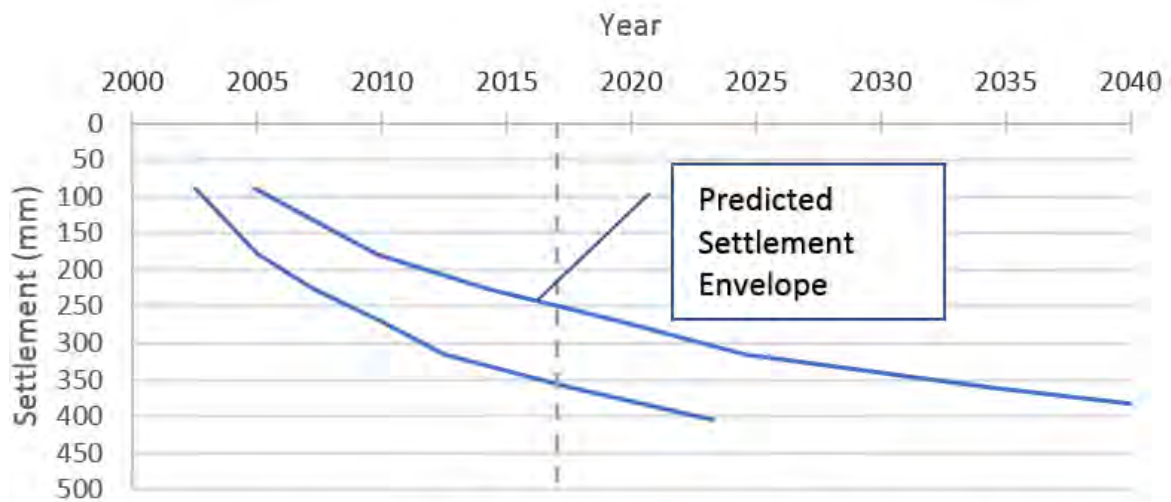
The pipe work was installed within the upfill material. This self-weight of the existing ground would have generated settlement within the underlying compressible soils. The upon loading the compressible would be subject to consolidation and secondary creep settlement. The consolidation settlement can be estimated using one dimensional consolidation theory, where consolidation settlement,  $s_c = \mu m_v \sigma'_v H$  with:

- $\mu$  = Geological coefficient (1.0 for estuarine clays)
- $m_v$  = Coefficient of volume compressibility (assumed as  $1.5\text{m}^2/\text{MN}$ )
- $\sigma'_v$  = Effective stress increase ( $z \times \gamma_b$ )
- $z$  = Depth of upfill (1 to 2m)
- $\gamma_b$  = Bulk unit weight of upfill (assumed  $18\text{kN/m}^3$ )
- $H$  = Thickness of compressible layer (2 to 8m)

Therefore, on the basis that the pipe was installed shortly after upfilling the theoretical consolidation settlement estimate ranges from 200 to 450mm (e.g. upper bound  $S_c = 1 \times 2 \times (18 \times 2) \times 8 = 432\text{mm}$ ). Figure 6.1 presents the predicted consolidation settlement envelope for the upper bound settlement estimate, however the rate also applies to the

lower bound. This figure illustrates that for 90% of this settlement to be realised it would likely take up to 20 to 30 years. As the development is 17 years old the theoretical consolidation settlement that has occurred to date is estimated to be between 55 and 75% of the total.

There is also theoretically a secondary component to the settlement, referred to as creep, which is likely to be very long term by could equate to 10 to 20mm per year.



Notes: Settlement based upon 1.5m of fill, 8m compressible soil, with  $m_v = 1.5m^2/MN$  and  $c_v = 1m^2/yr$

**Figure 6.1** Predicted Settlement Estimate for 8m of compressible soil, with 1.5m of fill

Even though the total settlements are high, the main issue with pipe performance is relative settlement of manholes and pipe work that would lead to a loss of falls. The settlement envelope serves to indicate the potential for total settlement, which in turn can lead to differential settlement.

### 6.3 Sewer Repair Options

The extent of the proposed sewer repair has been defined by McAdam Design as replacement of all the storm and foul sewers in the Hunters Mill site up to the junction with the combined trunk sewer at the south west boundary.

The objectives of the sewer repair are to:

1. Not adversely affect the adjacent houses during construction
2. Avoid creating hard points within the existing road way
3. Ensure that the house sewerage pipes can connect into the repaired system.
4. Ensure that the system has an appropriate outfall

As the system is a gravity system, it is reliant upon the trunk combined sewer performing adequately. This point is not considered further within this report, but confirming an appropriate outfall is the responsibility of McAdam Design.

In view of the compressible soils the sewer repair options for the site are:

1. Do Minimum
2. Relay lay sewer pipes
3. Pile manhole and relay pipes as ground bearing
4. Piled support slab

#### **6.4 Do Minimum**

Recommended option ?



This option involves clearing the blockages at manholes S3 and F3 and removing silt from the pipework. This option requires ongoing monitoring and maintenance of the system. The advantage of this option is that it does not attract the risks associated with the other more intrusive repair options, but accepts that ongoing works are necessary.

If this option is adopted six monthly level surveys are recommended that would enable the rate of settlement to be more accurately profiled.

#### **6.5 Relay lay sewer pipes**

This option involves shallow excavations (less than 1.5m) to relay the pipes to the correct line and level. Gradients should be maximised on the pipes, but excavations should be no deeper than 1.5m. The pipes are presently uPVC and it is considered appropriate to relay using pipes with the same material as this type has flexibility.

The advantage of this option is that it does not involve major works and the pipe work does not form hard spots within the existing road. The pipes are still liable to settle but less so since the surcharge has already been in place for 17 years. Nevertheless, this will require ongoing maintenance.

The works may need to be repeated in 5 to 10 years' time. However, if this option is adopted six monthly level surveys are recommended that would enable the rate of settlement to be more accurately profiled.

The excavation below invert depth should be minimised with a geotextile separator utilised between pipe surround material and in-situ soils.

#### **6.6 Pile Manholes & Relay Pipes as Ground Bearing**

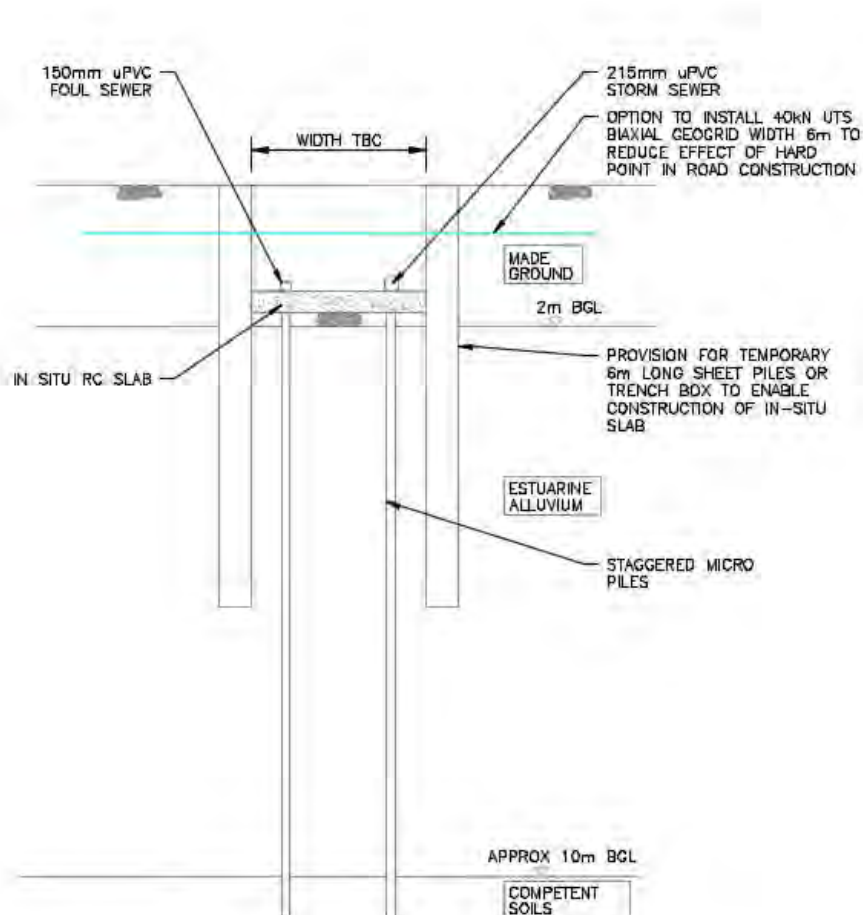
This option will prevent the manholes from settling but will not stop the pipe from doing so. It will also generate hard points within the road, which will lead to reflecting cracking in the road surface, as has occurred at MH S4/F4 and S5/F5 (refer to Plate 15). The pipe work will settle relative to the manhole and there is a risk of pipe fracture.

Therefore, if this option is to be adopted it would require ongoing maintenance and monitoring.

Further details on appropriate pile type are included in Section 6.7.

## 6.7 Piled Support Slab

This option requires the construction of a piled reinforced concrete slab below the pipes and manholes. Figure 6.2 presents a cross section of the option.



**Figure 6.2** Piled Slab Repair Option Cross Section

The slab should be positioned so that it supports both the storm and foul sewers and is likely to be to the order of 2.5m wide. The piles should be staggered at typically 1.5m in plan and centred on each pipe (i.e. 3m centres along each pipe). The slab would need to be sized to accommodate the weight of fill above and normal vehicular surcharge. The recommended pile type is a ductile iron 118mm diameter micro pile. These piles are installed using a low vibration and are suitable in very soft ground locations. The piles should be connected into the slab to provide fixity. The load on

each pile should be limited to 25T safe working load, which for a 1.5m spacing means that the piles have an allowance to the order of 5T for negative skin friction, in addition to an imposed load of 20T.

It is important to minimise the depth of the slab to less than 2m so that the excavation occurs within the upfill material. This also means that the pile heads are restrained when the ground is excavated for to cast the slab. Provision should be included for temporary works either in the form of sheet piles or a trench box because although the excavation is of modest time it will likely need to be open for some time to enable the pouring of the slab.

This option will prevent both the pipes and manholes from settling, however there may be interface issues with the household pipes connecting into the system as they are not piled.

← Laterals may need piled and relaid ?

The pile support slab is the more intrusive to construct and as a result attracts construction risks. In addition, the option will create a continuous hard strip within the road, which has the potential to lead to reflecting cracking in the road surface. An overlapping geogrid is recommended to reduce the differential effects; however, its installation serves to widen the works areas and would not completely remove the requirement for maintenance of the road surface.

### 6.8 Recommended Option

The choice of repair is complicated because of the severe cracking to the house numbers 17 to 21. The cracking is consistent with a pile foundation failure. This requires a major repair involving partial or complete rebuilding. Bearing in mind that the other houses were constructed using the same method, they too are potentially at risk of other housing blocks failure. This building should be either repaired or demolished as the structure will ultimately collapse. Section 8.0 includes specific geotechnical risks associated with carrying out the sewer repair near failed house foundations and properties at risk of failure. The Client should be made aware of these risks and it may be prudent to adopt a do minimum strategy in view of this.

Clearing blockages & removing silt.



## **7.0 Geotechnical Construction Aspects**

### **7.1 Excavations**

All vertical excavations undertaken on site shall conform to the requirements of the Health and Safety Executives guidance on 'Structural Stability during Excavation (<http://www.hse.gov.uk/construction/safetytopics/excavations.htm>). The design of these temporary works should take into consideration construction surcharges, the presence of possible services and the potential for localised water ingress. All such design should be documented within the Construction Phase Plan and have appropriate certification.

The required excavations are to the order of 1.5m. Based on the site investigation we believe, this should generally be above the groundwater level however existing pipe and associated granular pipe surround material have the potential to act as a pathway for water, as such temporary works should consider the potential for groundwater.

In general, the excavations should be sequenced and carried out in short lengths. The excavation required for the piled support option is required to be in place for a longer time sufficient to enable pouring of the concrete slab and as such provision should be made for trench sheets, sheet piles or a trench box. Any temporary works would need to be installed using low vibration techniques.

### **7.2 Subsurface Concrete**

Water soluble sulphate and pH testing was carried out on approximately 5 soil samples from the site. The pH values and water soluble sulphate testing indicates a design sulphate Class DS1 to BRE Special Digest 1-2005. Only SO<sub>3</sub> testing were carried out on site and the suggested volumes of SO<sub>3</sub> were not deemed critical.

## **8.0 Geotechnical Risk Register**

Appendix D presents a preliminary geotechnical risk register for the sewer repair.

## 9.0 Summary

The report has been prepared to consider the geotechnical aspects of proposed rehabilitation works to the existing storm and foul sewerage collection system at Hunter Mills in Downpatrick.

The extent of the proposed sewer repair has been defined by McAdam Design as replacement of all the storm and foul sewers in the Hunters Mill site up to the junction with the combined trunk sewer at the south west boundary.

The Hunters Mill development is approximately 17 years old and comprises 31 two storey properties. The properties are typically laid out blocks comprises four to six townhouses with two corner semi-detached dwellings. The development includes access roads access road and a turning head.

The site was built upon compressible ground with the ground first being upfilled by between 1 and 2m. The compressible soils are very soft clays that extend to approximately 10m bgl. The buildings were piled. The roads and pipes were constructed as ground bearing on top of and within the upfill material.

One building block, is severely cracked which is evidence of foundation failure. This building should be either repaired or demolished as the structure will ultimately collapse. As the other buildings on the site were constructed in similar ground and in a similar fashion they are also at risk of foundation failure.

Due to the original construction surcharging compressible soils with 1 to 2m of upfill there is potential for relative settlement between hard stand areas and pile buildings.

Theoretical settlement ranges from 200 to 450mm occurring over 30 years. Site inspection provides evidence that there has been relative settlement between piled buildings and roads of at least 150mm to date.

The foul and storm pipes run side by side within the access roads and include 5 internal manholes. The existing foul sewer is a 150mm uPVC diameter pipe and the storm system is a 215mm uPVC pipe. CCTV survey indicate pipes to be underwater, with high silt levels between MH S/F2 and S/F5. MH S3 invert is measured as below the downstream MH S4.

Manhole S2A was not on the original plans, however it is noted that this a connection from the main road, which suggests that the system has been modified.

The objectives of the sewer repair are to:

1. Not adversely affect the adjacent houses during construction
2. Avoid creating hard points within the existing road way that could lead to reflective cracking of the road
3. Ensure that the house sewerage pipes can connect into the repaired system.
4. Ensure that the system has an appropriate outfall

As the system is a gravity system it is reliant upon the trunk combined sewer performing adequately. This issue should be addressed by McAdam Design.

Four repair options were considered:

1. Do Minimum
2. Relay lay sewer pipes
3. Pile manhole and relay pipes as ground bearing
4. Piled support slab

The Do Minimum option involves clearing the blockages at manholes S3 and F3 and removing silt from the pipework. This option requires ongoing monitoring and maintenance of the system. It may potentially require localised relaying of pipes. The advantage of this option is that it does not attract the risks associated with the other more intrusive repair options, but accepts that ongoing works will be necessary.

The pile relay option involves shallow excavations (less than 1.5m) to replace the existing pipes to the correct line and level. The advantage of this option is that it does not involve major works and the pipe work does not form hard spots within the existing road. The pipes are still liable to settle but less so since the surcharge has already been in place for 17 years. Nevertheless, this will require ongoing maintenance.

The piling of manholes is not recommended because it will create discrete hard points within the system encouraging differential settlement and potential fracture of the pipe work.


The piled support slab option requires the construction of a piled reinforced concrete slab below the pipes and manholes. This option will prevent both the pipes and manholes from settling, however there may be interface issues with the household pipes connecting into the system as they are not piled. This option, it is more intrusive to construct and as a result attracts greater construction risks. In addition, the option will create a continuous hard strip within the road, which has the potential to lead to reflecting cracking in the road surface. An overlapping geogrid is recommended to reduce the differential effects but they may not eliminate it, however its installation

serves to widen the works areas and would not completely remove the requirement for maintenance of the road surface.

The choice of repair is complicated due to the nature of the existing condition and because of the foundation failure to house numbers 17 to 21. All repair options have negative aspects.

This most significant issue is the fact that the existing house foundations have failed. This failed block requires a major repair involving partial or complete rebuilding otherwise the structure will collapse in an uncontrolled manner. Bearing in mind that the other houses were constructed using the same method, they too are potentially also at of failure.

Section 8.0 includes specific geotechnical risks associated with carrying out the sewer repair near failed house foundations and properties at risk of failure. The Client should be made aware of these risks and it may be prudent to adopt a “do minimum” strategy in view of these risks.



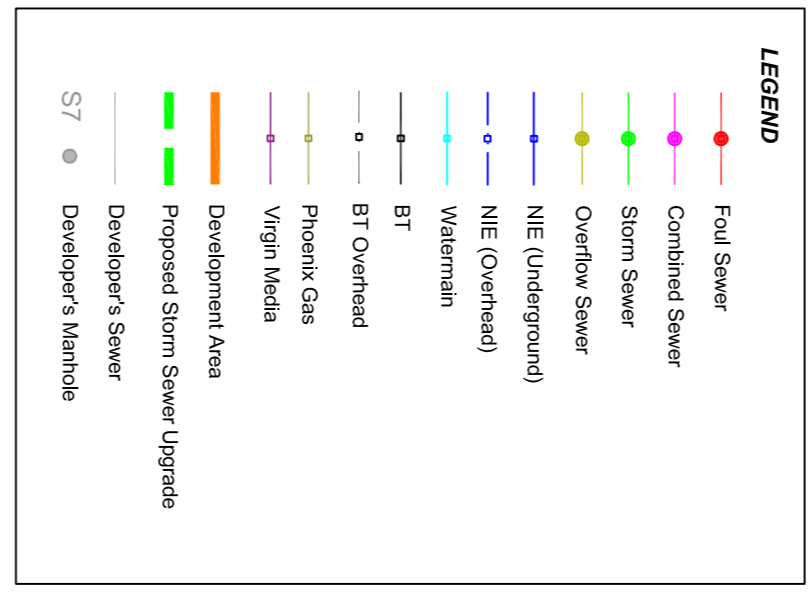
Clearing blockages  
& removing silt.

**Appendix A – Relevant Drawings**



**NOTES**

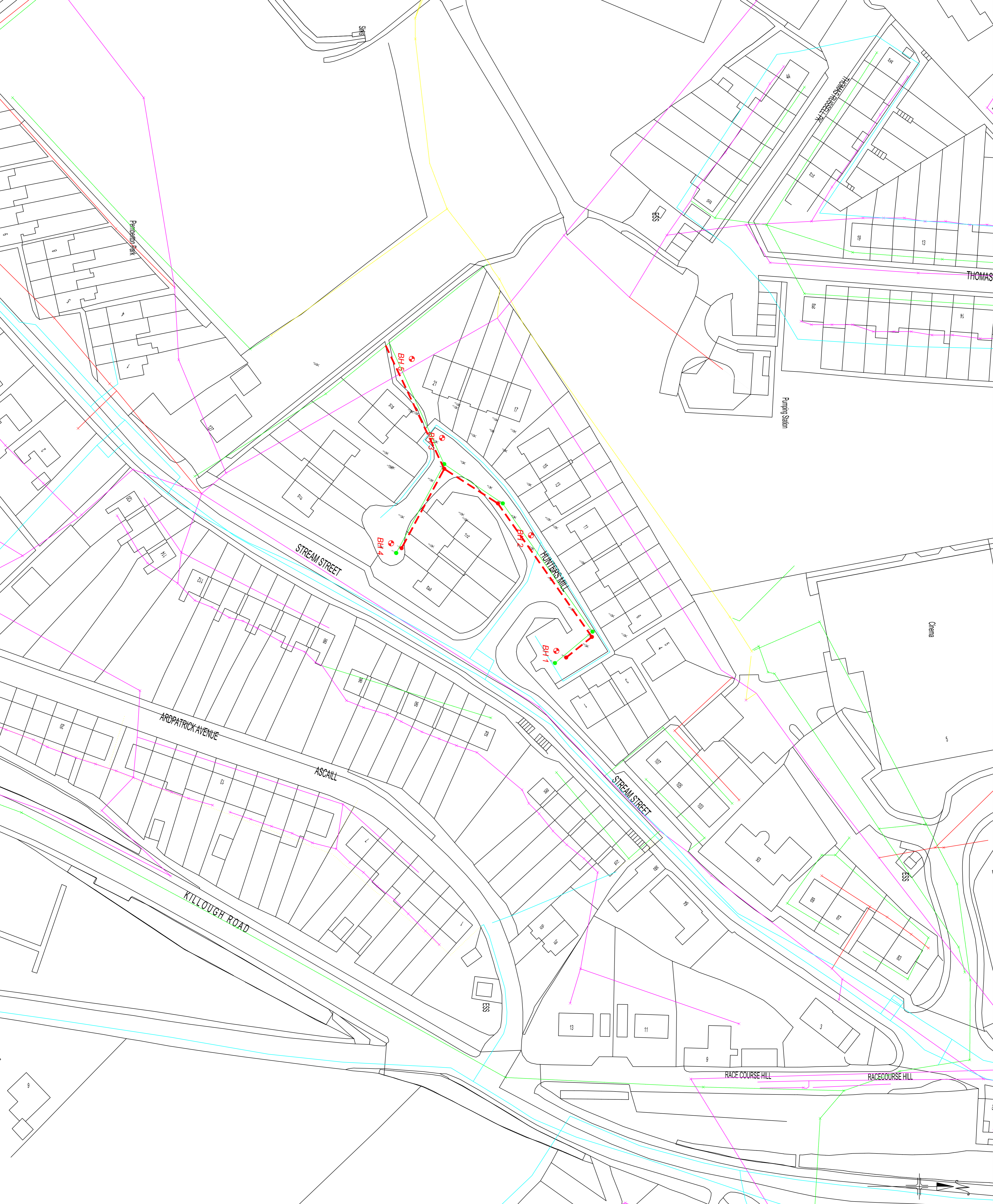
- All works to be carried out in accordance with the Civil Engineering Specification For The Water Industry 6th Edition published by WRc plc on behalf of UKWIR Ltd.
- All works in roads shall be carried out in accordance with the Street Works (Regulation and Control) Act 1993, The Street Works (Regulation and Control) Order 1993, The Street Works (Specification for the reinstatement of openings on roads) (2nd Edition) A Code of Practice July 2006 issued on behalf of NIRA/UC by the Stationery Office, Belfast.
- Minimum cover to crown of pipe to be 1.2m in roads and 0.9m in fields/verges unless stated otherwise.
- Drawing to be read in conjunction with all other E1838 drawings.
- Refer to Standard Details in Dwg No. E1838-03 for bedding, protection, and manhole details.
- The Contractor shall confirm on site, position and level of existing M1's prior to commencing any work.
- Any significant difference in line and level that will affect the overall design shall be referred to the Project Manager at the earliest opportunity.
- All levels are in metres to Ordnance Datum, Belfast.
- Services information available from Project Manager.
- Setting out is the responsibility of the contractor. Any discrepancy in the position of services and/or obstructions in the line shall be referred to the Project Manager at the earliest opportunity.
- All cover levels are approximate and may vary on site.
- All traffic management/signs, barriers and markings should be in accordance with Transport NI (DSD, INI Road Service) Traffic Signs Manual Chapter 8 and Street WORKS (NI) Order 1995. All traffic management to be agreed with Transport NI, include for compliance with the 'Safety at Street Works And Road Works - A Code Of Practice'.
- All services: Data shown is for information only. Locations shown are to be considered approximate and may deviate considerably. No information is provided for levels unless otherwise noted.
- Firmus Energy services: Work in the vicinity of natural gas pipelines can involve significant danger and considerable care must be exercised at all times. The design possibilities on site before any mechanical plant is used. In particular mechanical excavators or power tools should not be used within 500mm of any gas apparatus.



**WARNING**  
The information provided on this drawing in respect of statutory or other service information cannot be guaranteed to be accurate. It is given for your information only and the user thereof shall be responsible for the information provided and does not warrant the accuracy of same.

Rev	Date	Description	Dim	Cl'd	App
Client <b>northernireland water</b>					
Project <b>DERRIAGHY ROAD LISBURN STORM SEWER</b>					
Drawing <b>CONCEPT PLAN</b>					
Scale <b>?????? @ A1</b>					
<p><b>McAdam Design Ltd</b> 10 Montgomery House 178 Carrisreen Road Belfast, BT5 8SC T 028 9040 2000 F 028 9079 4144 admin@mcadamdesign.co.uk www.mcadamdesign.co.uk</p>					
Drawn	JGS	Checked	NA	Approved	PK
Date	14-10-2016	Date	14-10-2016	Date	14-10-2016
Project No	E1838	Drawing No	02	Revision	-

All dimensions are in millimetres. Figured dimensions to be taken in preference to scaled dimensions. Dimensions to be checked on site. © 2016 McAdam Design Ltd



**LEGEND**

- Foul Sewer
- Combined Sewer
- Storm Sewer
- Overflow Sewer
- NIE (Underground)
- NIE (Overhead)
- Watermain
- BT
- Phoenix Natural Gas
- - - Foul Sewer to be Relaid
- - - Storm Sewer to be Relaid
- Borehole Location

**NOTES**

1. All works to be carried out in accordance with the "CIV/ Engineering Specification For The Water Industry" 6th Edition published by WRC plc on behalf of UKWIR Ltd.
2. All works in roads shall be carried out in accordance with the "Street Works (Northern Ireland) Order 1995 - Reinstatement and opening of roads shall be carried out in accordance with the "Specification for the reinstatement of openings on roads" (2nd Edition) A Code of Practice - July 2006 issued on behalf of NIRAUC by the Stationery Office, Belfast.
3. Services information available from Project Manager.
4. All cover levels are approximate and may vary on site.
5. All traffic management/road signs, barriers and markings should be in accordance with DRD (NI) Road Service Traffic Signs Manual Chapter 8 and Street WORKS (NI) Order 1995. All traffic management to be agreed with DRD Road Service, include for compliance with the Safety at Street Works and Road Works - A Code Of Practice.
6. All services: Data shown is for information only. Locations shown are to be considered approximate and may deviate considerably. No information is provided for levels unless otherwise noted.

**Borehole Depths (Below Gnd Level):**

- BH1 - Depth = 18m
- BH2 - Depth = 18m
- BH3 - Depth = 18m
- BH4 - Depth = 18m
- BH5 - Depth = 18m

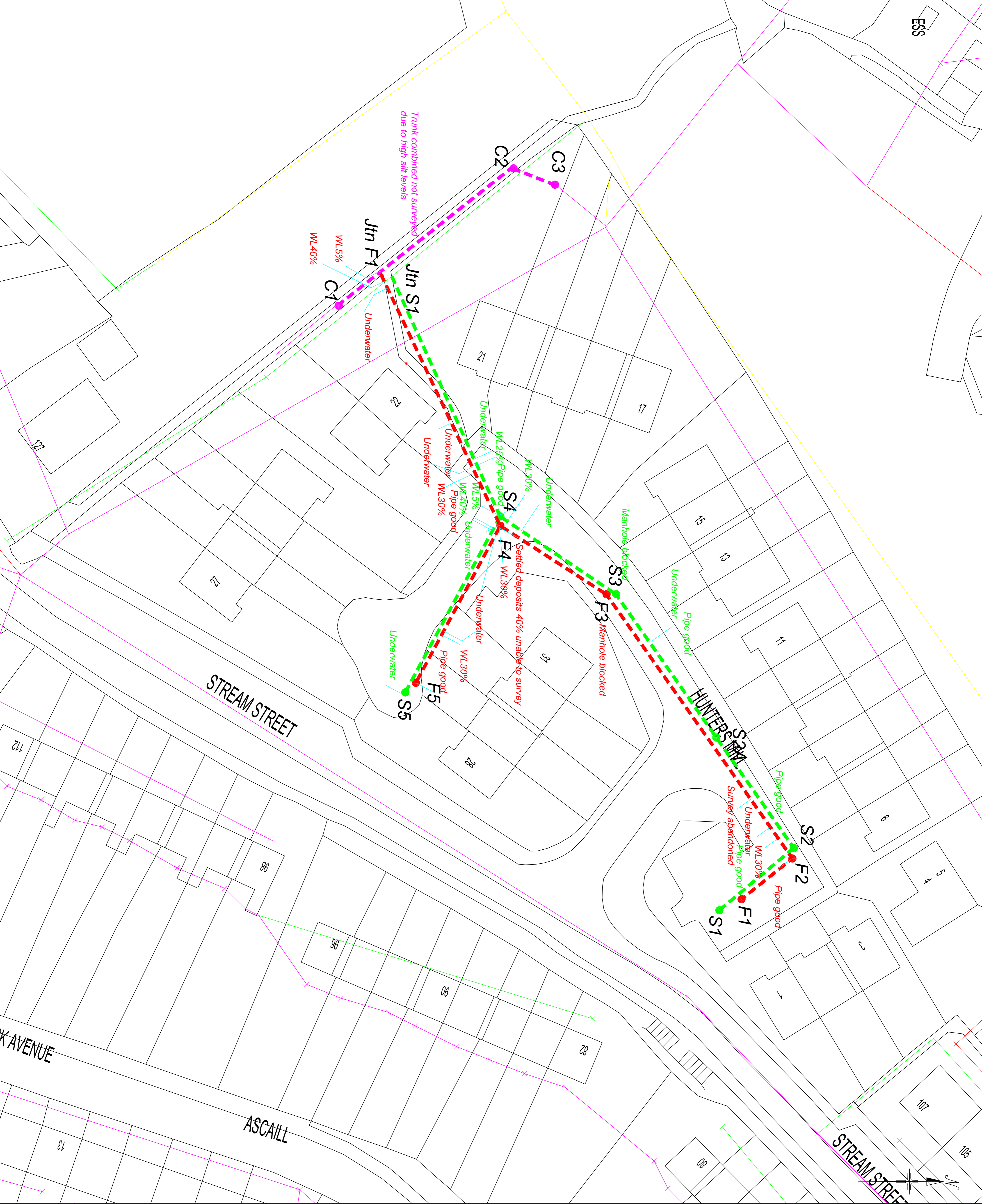
**WARNING**

The information provided on this drawing in respect of statutory or other service information cannot be guaranteed to be accurate. It is given for assistance and general guidance and routes and levels responsibility for the information provided and does not warrant the accuracy of same.

Rev	Date	Description	Dm	Clrd	App
Client					
Project					
HUNTERS MILL SEWERS					
DOWNPATRICK					
Drawing					
PLAN					
SITE INVESTIGATION					
Scale					
AS SHOWN @ A1					
McAdam Design Ltd 16 Montemery House 478 Castleknock Road Ballyast, BT5 6BQ T 028 9040 2000 F 028 9079 4144 admin@mcadamdesign.co.uk www.mcadamdesign.co.uk					
Drawn	S.W.	Checked	NA	Approved	RK
Date	14-10-2016	Date	14-10-2016	Date	14-10-2016
Project No	E1849	Drawing No	05	Revision	

All dimensions are in millimeters. Figure dimensions to be taken in preference to scaled dimensions. Dimensions to be checked on site. © 2010 McAdam Design Ltd





**LEGEND**

- Foul Sewer
- Combined Sewer
- Storm Sewer
- Overflow Sewer
- - - Phoenix Natural Gas
- - - Foul Sewer to be cctv surveyed
- - - Storm Sewer to be cctv surveyed
- - - Combined Sewer to be cctv surveyed



**WARNING**  
 The information provided on this drawing in respect of statutory or other service information cannot be guaranteed to be accurate. It is given for guidance only and is not intended to be used as a basis for any design or construction. The user of this information shall be responsible for the accuracy of same.

Rev	Date	Description	Dim	Cl'd	App

Client: **northenland water**

Project: **HUNTERS MILL SEWERS DOWNPATRICK**

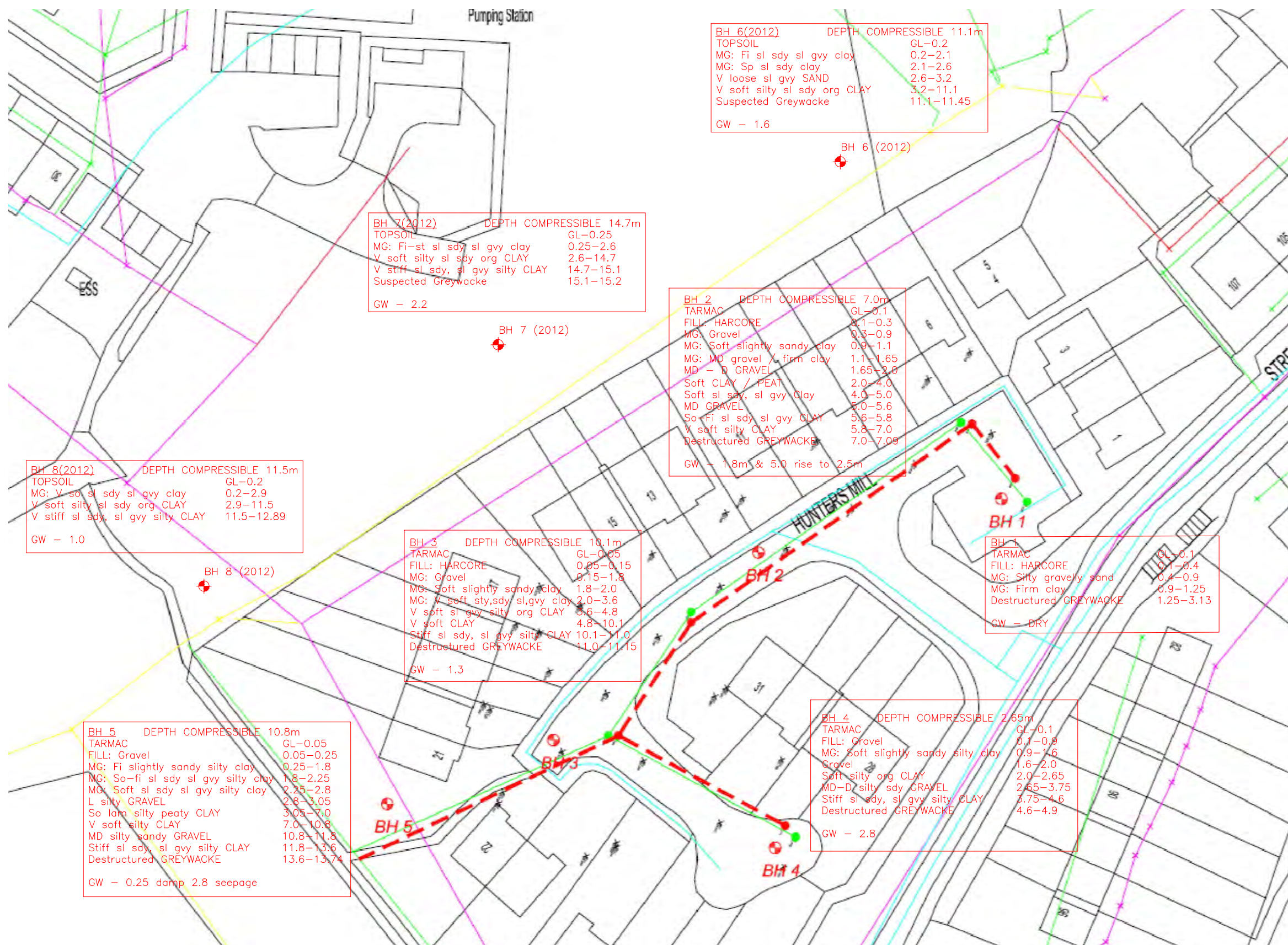
Drawing: **CCTV SURVEY FINDINGS PLAN**

Scale: **AS SHOWN @ A1**

Drawn	SWK	Checked	CCTV/PMH	Approved	PK
Date	31-03-17	Date	31-03-17	Date	31-03-17
Project No	E1849	Drawing No	07	Revision	-

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**Appendix B – Ground Stratigraphy Summary**



GENERAL NOTES

- LEVELS ARE FROM BELOW EXISTING GROUND LEVEL
- BOREHOLES SUMMARISED FROM THE FOLLOWING REPORTS:  
 GEOTECHNICAL & ENVIRONMENTAL SERVICES  
 REPORT 175/NI/16 JAN 2017  
 GEOTECHNICAL & ENVIRONMENTAL SERVICES  
 REPORT 08/NI/12 MARCH 2002

Rev	Date	Revision	by	chkd



190E Saintfield Road, Belfast BT8 6NN  
 tel: 028 9079 8700  
 email: info@cassidygeo.com

CLIENT  
 McADAM DESIGN

PROJECT  
 HUNTERS MILL SEWERS  
 DOWNPATRICK

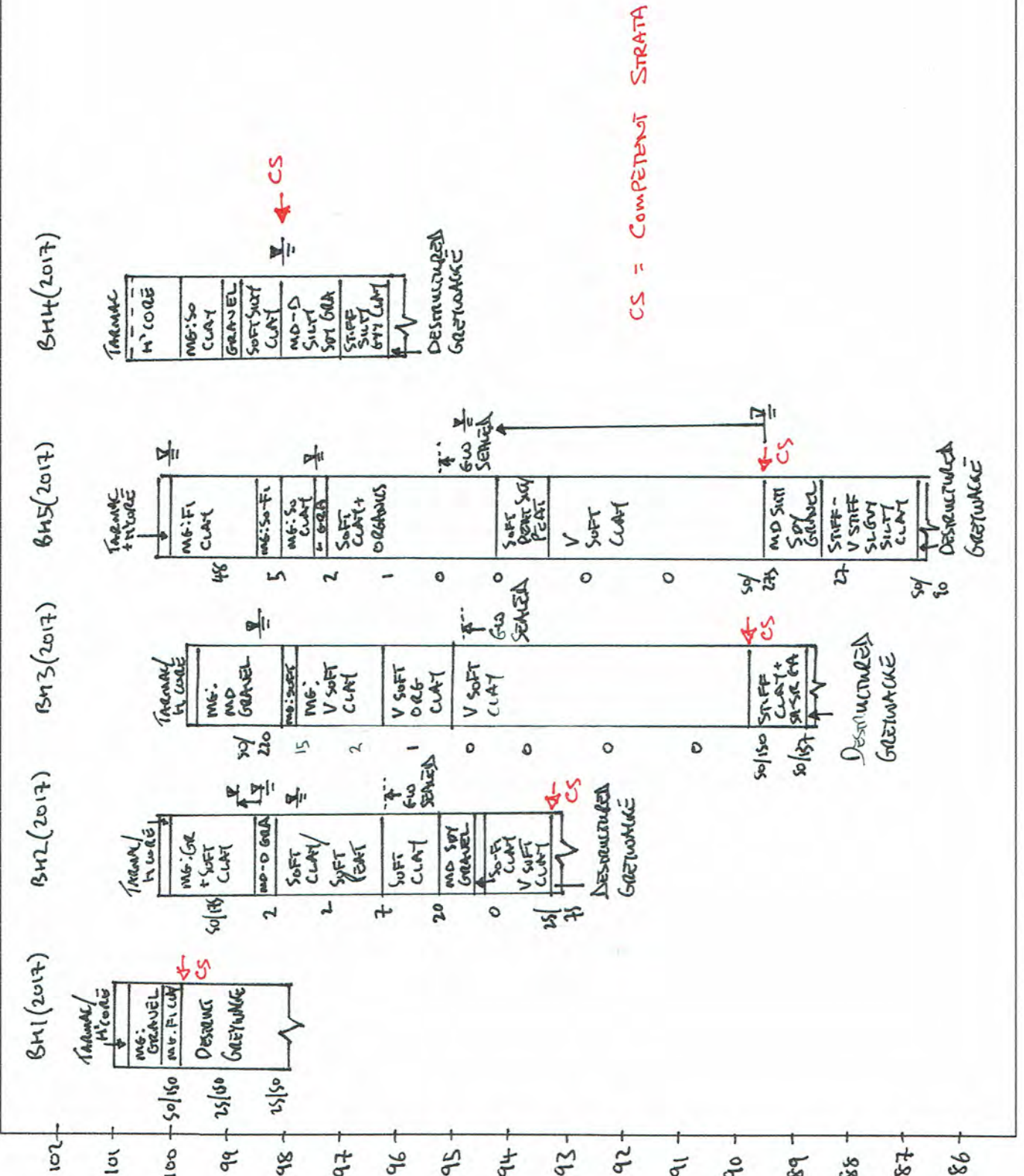
DRAWING TITLE  
 SUMMARY OF GROUND INVESTIGATIONS

STATUS  
 FOR INFORMATION

drawn: GT	date: APRIL 17	scale: NTS	chk: MC
project no		drg.no.	rev.
C349		SK01	-

Job No.	C349		
Date	April 17		
Made By	mc	Chk By	
Sheet No.	APP B	SK 02	

GROUND STRATIGRAPHY SUMMARY



**Appendix C – Site Inspection Photographs**



Plate 1 View of Site from Stream Street (House Nrs 6 to 11)



Plate 2 View of House Nrs 1 to 6



Plate 3 Undulating surface/sloping paving flags (House Nr 9)



Plate 4 Undulating surface House Nr 11



Plate 5 View from adj House Nr 11 to House 22



Plate 6 Relative Movement between House 11 and external areas





Plate 7 Severe Cracking House Nr's 17 to 21



Plate 8 Severe Cracking House Nr's 17 to 21



Plate 9 Differential Settlement at House Nr 17



Plate 10 Severe Cracking at House Nr 21



Plate 11 Road Surface at Manhole F4 and S3



Plate 12 View of low spot near S3/F3



Plate 13 Differential Settlement Between House Nr 23 and external areas



Plate 14 View of manholes S5/F5, with manhole reflecting through road surface



Plate 15 Reflective cracking in road at MH S4



Plate 16 View of Rear to House Nrs 17 to 21



Plate 17      Ground Profile North East of the Site at the higher level

**Appendix D – Preliminary Geotechnical Risk Register**

No.	Key Geotechnical hazards (or risks) identified	Evaluations. Design decisions made (or alternative actions)	Risk
1	<b>General:</b> Available Ground Investigation is insufficient for detailed design.	A ground investigation is available, nevertheless if specific aspects of detailed design required additional investigations they should be carried out	Low
2	<b>General:</b> Repair work perceived to cause damage to adjacent houses / road	House Nr's 16 to 20 have experienced foundation failure. As the other houses have been constructed on similar ground with the same foundation then their failure cannot be discounted. If the sewer repair works coincides with a foundation failure then it is possible that the sewer repair works are perceived to have contributed to the failure.	Medium
3	<b>General:</b> Ability to safely carry out works adjacent to unstable properties.	House Nr's 16 to 20 have experienced foundation failure. Construction activities in the vicinity of this building need to carefully consider risk of building collapse.	Medium
4	<b>General:</b> Future adjacent building foundation failure damages sewer pipes	Should future building failure occur there is risk that the associated ground movement would damage the sewer pipes	Medium
5	<b>General:</b> Groundwater within excavations	Groundwater was identified at between 1.5m and 2.0m in the boreholes. The storm pipe and associated granular surround are potentially groundwater conduits.	Low
6	<b>General:</b> Potential Raw Sewage to be encountered during works	This is anticipated as the works is to a live foul sewer	High
7	<b>Do Minimum Option:</b> Cleaning out of pipework & removal of blockages does not resolve issue.	The option will require on-going monitoring and maintenance	High
8	<b>Do Minimum Option:</b> Works damages/effects adjacent buildings / road way	Not likely to have a significant impact as work being carried out is minimum.	Low
9	<b>Relay Sewer Pipes:</b> This option does not resolve issue.	The relayed pipes will continue to settle although at a lower rate. There is a risk that fracture occurs in the further requiring further repair in 5 to 10 years time.	Medium
10	<b>Relay Sewer Pipes:</b> Works damages/effects adjacent buildings / road way	This option is not likely to affect the adjacent buildings but the road way would require reinstatement	Medium
11	<b>Pile Manholes &amp; Relay Sewer Pipes:</b> This option does not resolve issue.	The relayed pipes will continue to settle although at a lower rate. The risk of pipe fracture and further repair being required is higher because the manholes are piled and not likely to move.	Medium-High
12	<b>Piled Support Slab:</b> This option does not resolve issue	This option will prevent settlement within the pipe work and manholes, but there may be interface issues with connections into system from adjacent houses.	Low
13	<b>Piled Support Slab:</b> Works damages/effects adjacent buildings	This option is not likely to affect the adjacent buildings, subject to the use of appropriately designed temporary works.	Medium
14	<b>Piled Support Slab:</b> Works damages/effects roadway	This option will create a continuous hard strip in the roadway. There will be differential movement between areas unpiled and piled. Reflective cracking can be mitigated by use of a geogrid	Medium
15	<b>Piles:</b> Failure of Piles	Cast Iron micro piles are recommended as they are suitable to be installed into soft soils and can be driven into competent soils at depth. There is at least 0.5m of soil above bedrock to provide fixity. Piles to be verified by dynamic testing (careful selection of pile test location to avoid damaging adjacent properties)	Low
16	<b>Piles:</b> Pile heads deflect upon excavation	This should not occur because excavation still within made ground which will provide head restraint. If excavation continues into Alluvium then it may be necessary to temporarily support pile heads.	Low-Medium

May need to pile & replay laterals ?



**Project Information**

Project Name	Client's ref	Contractor's ref :	Date:
HUNTERSMILL (FOUL)	001	001	21/03/2017

## Description

**Client**

Company: MC ADAM DESIGN  
Contact: [REDACTED]  
Department: 1C CASTLEREAGH BUSINESS PARK  
Street: 478 CASTLEREAGH ROAD  
City: BELFAST BT5 6BQ  
Phone: 02890402000  
Fax: 02890794144  
Mobile:  
E-Mail:

**Site**

Company: MC ADAM DESIGN  
Contact: [REDACTED]  
Department: HUNTERSMILL (FOUL)  
Street: HUNTERS MILL  
City: DOWNPATRICK  
Phone: 0289040200  
Fax: 02890794144  
Mobile:  
E-Mail:

**Contractor**

Company: CONTRACT SERVICES DGN LTD  
Contact: [REDACTED]  
Department: CCTV INSPECTION SURVEY  
Street: 15 BOVEAN ROAD  
City: DUNGANNON  
Phone: 02887723003  
Fax: 02887727971  
Mobile:  
E-Mail: contractserv@aol.com

### Legend of Classification (Section)

 Project Name  
**HUNTERSMILL (FOUL)**

Project Number:

 Date:  
**21/03/2017**
1:

 Brick: No Structural Defects  
 Pipe: No Structural Defects

Acceptable Structural Condition

2:

 Brick: Minor cracking, Surface mortar loss, Spalling slight, Wear slight  
 Pipe: Circumferential crack, Moderate joint defects, Spalling slight, Wear slight

Minor collapse risk in short term but potential for further deterioration

3:

 Brick: Total mortarloss without other defects, single brick displaced, Deformation up to 5%,  
 Spalling medium, Wear medium  
 Pipe: Fractures with deformation up to 5%, Longitudinal cracking or multiple cracking, Minor loss  
 of level, More severe joint

! Collapse unlikely in near future but future deterioration likely !

4:

 Brick: Total mortarloss with deformation greater than 10%, Deformation up to 10% and fractured,  
 Displaced/hanging brickwork, Small number of missing bricks  
 Pipe: Broken, Deformation up to 10% and broken, Fractured with deformation 5 - 10%, Multiple  
 fractures, serious loss of level, Spalling large, Wear large

!! Collapse likely in foreseeable future !!

5:

 Brick: Already collapsed, Missing invert, Deformation over 10% and fractured, Displaced/hanging  
 brickwork and deformation over 10%, Extensive missing bricks  
 Pipe: Already collapsed, Deformation over 10% and broken, Extensive areas of fabric missing,  
 Fractured with deformation over 10%

!!! Collapsed or collapse imminent !!!

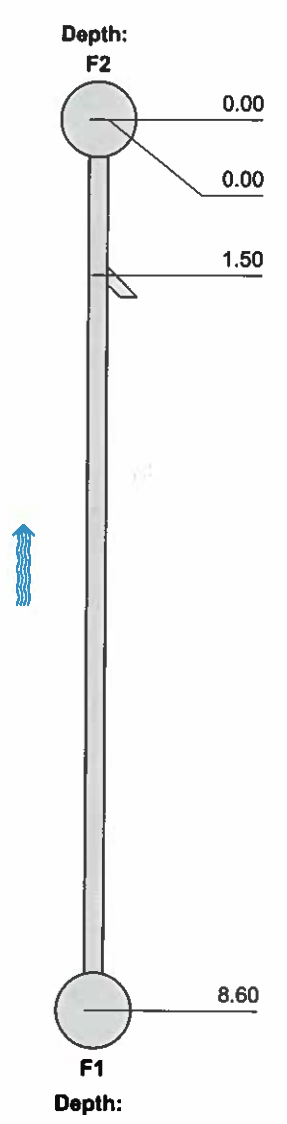
### Inspection Report

Section Number : <b>1</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>F1X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>F2 ← F1</b>	US MH: <b>F1</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>8.60</b>	DS MH: <b>F2</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Foul</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>150 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material:

Comment:  
 Recommendation:

1:73	Position m	Code	Observation	MPEG	Photo	Grade																								
<div style="display: flex; align-items: center;"> <div style="margin-right: 20px;"> <p>Depth: <b>F2</b></p>  </div> <table border="1" style="margin-left: 20px;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 5%;">MH</td> <td style="width: 45%;">Start node type, manhole, reference number: F2</td> <td style="width: 10%;">00:00:00</td> <td style="width: 5%;"></td> <td style="width: 5%;">0</td> </tr> <tr> <td>0.00</td> <td>WL</td> <td>Water level, 0% of the vertical dimension</td> <td>00:00:01</td> <td></td> <td>0</td> </tr> <tr> <td>1.50</td> <td>JN</td> <td>Junction at 11 o'clock, diameter: 100mm</td> <td>00:00:33</td> <td></td> <td>0</td> </tr> <tr> <td>8.60</td> <td>MHF</td> <td>Finish node type, manhole, reference number: F1</td> <td>00:02:43</td> <td></td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: F2	00:00:00		0	0.00	WL	Water level, 0% of the vertical dimension	00:00:01		0	1.50	JN	Junction at 11 o'clock, diameter: 100mm	00:00:33		0	8.60	MHF	Finish node type, manhole, reference number: F1	00:02:43		0
0.00	MH	Start node type, manhole, reference number: F2	00:00:00		0																									
0.00	WL	Water level, 0% of the vertical dimension	00:00:01		0																									
1.50	JN	Junction at 11 o'clock, diameter: 100mm	00:00:33		0																									
8.60	MHF	Finish node type, manhole, reference number: F1	00:02:43		0																									

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0

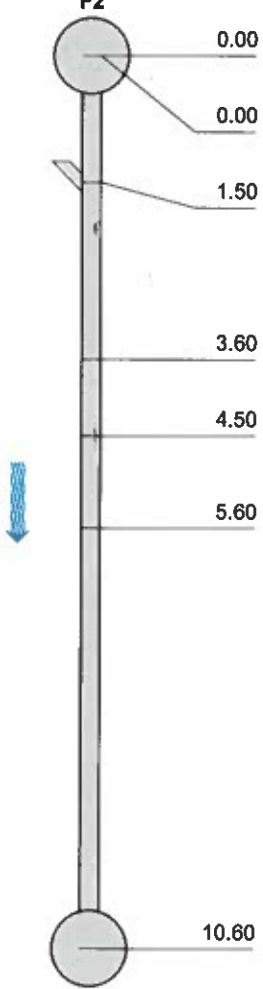
## Inspection Report

Section Number : <b>2</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>F2X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>F2 → F3</b>	US MH: <b>F2</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>10.60</b>	DS MH: <b>F3</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Foul</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>150 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material:

Comment:  
 Recommendation:

1:90	Position m	Code	Observation	MPEG	Photo	Grade																																			
<div style="display: flex; align-items: center;"> <div style="margin-right: 10px;"> <p>Depth: <b>F2</b></p>  </div> <table border="1" style="margin-left: 10px;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 15%;">MH</td> <td style="width: 5%;">Start node type, manhole, reference number: F2</td> <td style="width: 10%;">00:00:00</td> <td style="width: 5%;">0</td> </tr> <tr> <td>0.00</td> <td>WL</td> <td>Water level, 0% of the vertical dimension</td> <td>00:00:01</td> <td>0</td> </tr> <tr> <td>1.50</td> <td>JN</td> <td>Junction at 1 o'clock, diameter: 100mm</td> <td>00:00:40</td> <td>0</td> </tr> <tr> <td>3.60</td> <td>WL</td> <td>Water level, 20% of the vertical dimension</td> <td>00:02:03</td> <td>0</td> </tr> <tr> <td>4.50</td> <td>WL</td> <td>Water level, 30% of the vertical dimension</td> <td>00:02:09</td> <td>0</td> </tr> <tr> <td>5.60</td> <td>CUW</td> <td>Loss of vision, camera under water</td> <td>00:02:19</td> <td>0</td> </tr> <tr> <td>10.60</td> <td>SA</td> <td>Survey abandoned: UNDER WATER</td> <td>00:03:22</td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: F2	00:00:00	0	0.00	WL	Water level, 0% of the vertical dimension	00:00:01	0	1.50	JN	Junction at 1 o'clock, diameter: 100mm	00:00:40	0	3.60	WL	Water level, 20% of the vertical dimension	00:02:03	0	4.50	WL	Water level, 30% of the vertical dimension	00:02:09	0	5.60	CUW	Loss of vision, camera under water	00:02:19	0	10.60	SA	Survey abandoned: UNDER WATER	00:03:22	0
0.00	MH	Start node type, manhole, reference number: F2	00:00:00	0																																					
0.00	WL	Water level, 0% of the vertical dimension	00:00:01	0																																					
1.50	JN	Junction at 1 o'clock, diameter: 100mm	00:00:40	0																																					
3.60	WL	Water level, 20% of the vertical dimension	00:02:03	0																																					
4.50	WL	Water level, 30% of the vertical dimension	00:02:09	0																																					
5.60	CUW	Loss of vision, camera under water	00:02:19	0																																					
10.60	SA	Survey abandoned: UNDER WATER	00:03:22	0																																					

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0

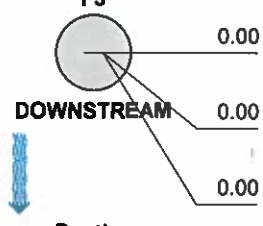
## Inspection Report

Section Number : <b>3</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>F3X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>F3 → DOWNSTREAM</b>	US MH: <b>F3</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>0.00</b>	DS MH: <b>DOWNSTREAM</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Foul</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>150 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material:

Comment:  
 Recommendation:

1:50	Position m	Code	Observation	MPEG	Photo	Grade																		
<div style="display: flex; align-items: flex-start;"> <div style="margin-right: 20px;"> <p>Depth: <b>F3</b></p>  <p>DOWNSTREAM</p> <p>Depth:</p> </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 15%;">MH</td> <td style="width: 45%;">Start node type, manhole, reference number: F3</td> <td style="width: 10%;">00:00:00</td> <td style="width: 5%;"></td> <td style="width: 5%;">0</td> </tr> <tr> <td>0.00</td> <td>REM</td> <td>General remark: MANHOLE BLOCKED</td> <td>00:00:01</td> <td></td> <td>0</td> </tr> <tr> <td>0.00</td> <td>SA</td> <td>Survey abandoned: MANHOLE BLOCKED</td> <td>00:00:01</td> <td></td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: F3	00:00:00		0	0.00	REM	General remark: MANHOLE BLOCKED	00:00:01		0	0.00	SA	Survey abandoned: MANHOLE BLOCKED	00:00:01		0
0.00	MH	Start node type, manhole, reference number: F3	00:00:00		0																			
0.00	REM	General remark: MANHOLE BLOCKED	00:00:01		0																			
0.00	SA	Survey abandoned: MANHOLE BLOCKED	00:00:01		0																			
STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade															
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0															

**Section Pictures - 20/03/2017 - F3X**

Section Number : 3	Survey Direction : F3 → DOWNSTREAM	PLR : F3X	Client's Ref : 001	Contractor's Ref : 001
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F3X\_5661db42-d07a-48c7-ac76-791002f98029\_20170321\_122255\_978.jpg, 00:00:01, 0.00m  
General remark

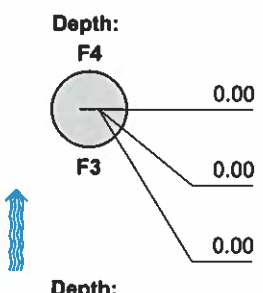
### Inspection Report

Section Number : <b>4</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>F3X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravly drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>F4 ← F3</b>	US MH: <b>F3</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>0.00</b>	DS MH: <b>F4</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Foul</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>150 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
 Recommendation:

1:50	Position m	Code	Observation	MPEG	Photo	Grade																		
<div style="display: flex; align-items: flex-start;"> <div style="margin-right: 20px;"> <p>Depth: <b>F4</b></p>  <p>Depth: <b>F3</b></p> </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 5%;">MH</td> <td style="width: 45%;">Start node type, manhole, reference number: F4</td> <td style="width: 10%;">00:00:00</td> <td style="width: 10%;"></td> <td style="width: 5%;">0</td> </tr> <tr> <td style="color: red;">0.00</td> <td style="color: red;">DEC</td> <td style="color: red;">Settled deposits, hard or compacted, 40% cross-sectional area loss</td> <td style="color: red;">00:00:01</td> <td></td> <td style="color: red;">4</td> </tr> <tr> <td>0.00</td> <td>SA</td> <td>Survey abandoned: DEBRIS</td> <td>00:00:01</td> <td></td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: F4	00:00:00		0	0.00	DEC	Settled deposits, hard or compacted, 40% cross-sectional area loss	00:00:01		4	0.00	SA	Survey abandoned: DEBRIS	00:00:01		0
0.00	MH	Start node type, manhole, reference number: F4	00:00:00		0																			
0.00	DEC	Settled deposits, hard or compacted, 40% cross-sectional area loss	00:00:01		4																			
0.00	SA	Survey abandoned: DEBRIS	00:00:01		0																			
STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade															
0	0.0	0.0	0.0	1.0	1	5.0	0.0	5.0	4.0															

**Section Pictures - 20/03/2017 - F3X**

Section Number : 4	Survey Direction : F4 ← F3	PLR : F3X	Client's Ref : 001	Contractor's Ref : 001
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F3X\_bbf30af-c854-41fa-af5d-d1cd1aac91b\_20170321\_122406\_687.jpg, 00:00:01, 0.00m  
Settled deposits, hard or compacted, 40% cross-sectional area loss



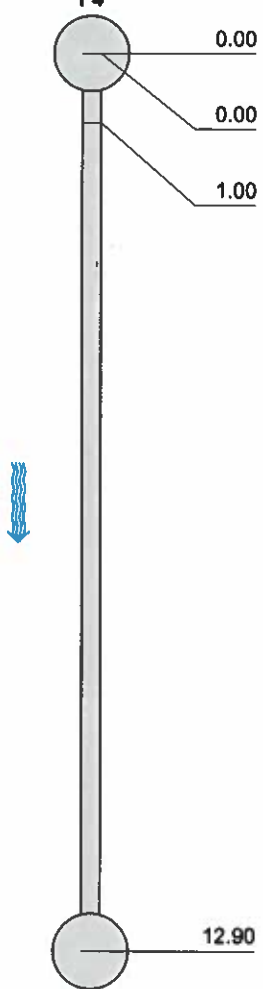
## Inspection Report

Section Number : <b>5</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>F4X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>F4 → F5</b>	US MH: <b>F4</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>12.90</b>	DS MH: <b>F5</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Foul</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>150 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
 Recommendation:

1:109	Position m	Code	Observation	MPEG	Photo	Grade																				
<div style="display: flex; align-items: flex-start;"> <div style="margin-right: 20px;"> <p>Depth: <b>F4</b></p>  </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 15%;">MH</td> <td style="width: 5%;">Start node type, manhole, reference number: F4</td> <td style="width: 45%;">00:00:00</td> <td style="width: 10%;">0</td> </tr> <tr> <td>0.00</td> <td>WL</td> <td>Water level, 30% of the vertical dimension</td> <td>00:00:02</td> <td>0</td> </tr> <tr> <td>1.00</td> <td>CUD</td> <td>Loss of vision, silt</td> <td>00:00:26</td> <td>0</td> </tr> <tr> <td>12.90</td> <td>SA</td> <td>Survey abandoned: UNDER WATER</td> <td>00:02:41</td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: F4	00:00:00	0	0.00	WL	Water level, 30% of the vertical dimension	00:00:02	0	1.00	CUD	Loss of vision, silt	00:00:26	0	12.90	SA	Survey abandoned: UNDER WATER	00:02:41	0
0.00	MH	Start node type, manhole, reference number: F4	00:00:00	0																						
0.00	WL	Water level, 30% of the vertical dimension	00:00:02	0																						
1.00	CUD	Loss of vision, silt	00:00:26	0																						
12.90	SA	Survey abandoned: UNDER WATER	00:02:41	0																						

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0

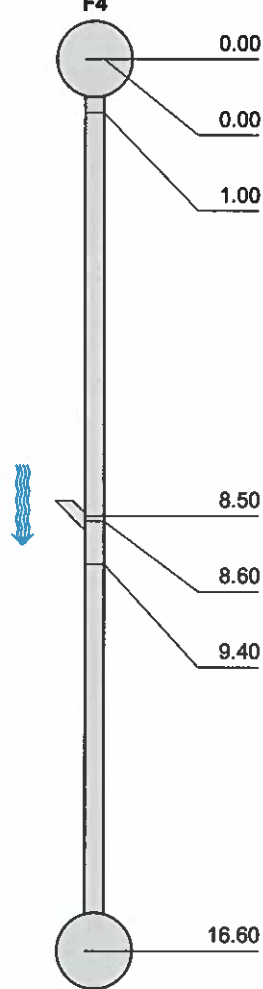
## Inspection Report

Section Number : <b>6</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>F4X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>F4 → JTN F1</b>	US MH: <b>F4</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>16.60</b>	DS MH: <b>JTN F1</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Foul</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>150 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
Recommendation:

1:141	Position m	Code	Observation	MPEG	Photo	Grade																																										
<div style="display: flex; align-items: flex-start;"> <div style="width: 25%;"> <p><b>Depth:</b> <b>F4</b></p>  <p><b>JTN F1</b> <b>Depth:</b></p> </div> <table border="1" style="width: 75%; border-collapse: collapse;"> <tr> <td style="width: 15%;">0.00</td> <td style="width: 5%;">MH</td> <td style="width: 45%;">Start node type, manhole, reference number: F4</td> <td style="width: 10%;">00:00:00</td> <td style="width: 10%;"></td> <td style="width: 5%;">0</td> </tr> <tr> <td>0.00</td> <td>WL</td> <td>Water level, 0% of the vertical dimension</td> <td>00:00:01</td> <td></td> <td>0</td> </tr> <tr> <td>1.00</td> <td>JDL</td> <td>Joint displaced, large</td> <td>00:00:10</td> <td></td> <td>1</td> </tr> <tr> <td>8.50</td> <td>WL</td> <td>Water level, 30% of the vertical dimension</td> <td>00:00:45</td> <td></td> <td>0</td> </tr> <tr> <td>8.60</td> <td>JN</td> <td>Junction at 1 o'clock, diameter: 100mm</td> <td>00:01:01</td> <td></td> <td>0</td> </tr> <tr> <td>9.40</td> <td>CUW</td> <td>Loss of vision, camera under water</td> <td>00:01:11</td> <td></td> <td>0</td> </tr> <tr> <td>16.60</td> <td>SA</td> <td>Survey abandoned: UNDER WATER</td> <td>00:02:56</td> <td></td> <td>0</td> </tr> </table></div>							0.00	MH	Start node type, manhole, reference number: F4	00:00:00		0	0.00	WL	Water level, 0% of the vertical dimension	00:00:01		0	1.00	JDL	Joint displaced, large	00:00:10		1	8.50	WL	Water level, 30% of the vertical dimension	00:00:45		0	8.60	JN	Junction at 1 o'clock, diameter: 100mm	00:01:01		0	9.40	CUW	Loss of vision, camera under water	00:01:11		0	16.60	SA	Survey abandoned: UNDER WATER	00:02:56		0
0.00	MH	Start node type, manhole, reference number: F4	00:00:00		0																																											
0.00	WL	Water level, 0% of the vertical dimension	00:00:01		0																																											
1.00	JDL	Joint displaced, large	00:00:10		1																																											
8.50	WL	Water level, 30% of the vertical dimension	00:00:45		0																																											
8.60	JN	Junction at 1 o'clock, diameter: 100mm	00:01:01		0																																											
9.40	CUW	Loss of vision, camera under water	00:01:11		0																																											
16.60	SA	Survey abandoned: UNDER WATER	00:02:56		0																																											

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
1	2.0	0.1	0.1	1.0	0	0.0	0.0	0.0	1.0

**Section Pictures - 20/03/2017 - F4X**Section Number :  
6Survey Direction :  
F4 → JTN F1PLR :  
F4XClient's Ref :  
001Contractor's Ref :  
001

F4X\_e26cb627-f968-4340-82cf-58f2f71bbdff\_20170321\_122719\_308.jpg, 00:00:10, 1.00m  
Joint displaced, large

## Inspection Report

Section Number : <b>7</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>F4X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>F4 → F5</b>	US MH: <b>F4</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>10.40</b>	DS MH: <b>F5</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Foul</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>150 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
 Recommendation:

1:88	Position m	Code	Observation	MPEG	Photo	Grade																																			
<div style="display: flex; align-items: center;"> <div style="margin-right: 20px;"> <p>Depth: <b>F4</b></p> </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 15%;">MH</td> <td style="width: 5%;">Start node type, manhole, reference number: F4</td> <td style="width: 45%;">00:00:00</td> <td style="width: 5%;">0</td> </tr> <tr> <td>0.00</td> <td>WL</td> <td>Water level, 5% of the vertical dimension</td> <td>00:00:03</td> <td>0</td> </tr> <tr> <td>3.20</td> <td>JN</td> <td>Junction at 1 o'clock, diameter: 100mm</td> <td>00:00:21</td> <td>0</td> </tr> <tr> <td>6.40</td> <td>JN</td> <td>Junction at 11 o'clock, diameter: 100mm</td> <td>00:00:43</td> <td>0</td> </tr> <tr> <td>8.00</td> <td>WL</td> <td>Water level, 30% of the vertical dimension</td> <td>00:01:01</td> <td>0</td> </tr> <tr> <td>8.60</td> <td>CUW</td> <td>Loss of vision, camera under water</td> <td>00:01:12</td> <td>0</td> </tr> <tr> <td>10.40</td> <td>SA</td> <td>Survey abandoned: UNDER WATER</td> <td>00:01:58</td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: F4	00:00:00	0	0.00	WL	Water level, 5% of the vertical dimension	00:00:03	0	3.20	JN	Junction at 1 o'clock, diameter: 100mm	00:00:21	0	6.40	JN	Junction at 11 o'clock, diameter: 100mm	00:00:43	0	8.00	WL	Water level, 30% of the vertical dimension	00:01:01	0	8.60	CUW	Loss of vision, camera under water	00:01:12	0	10.40	SA	Survey abandoned: UNDER WATER	00:01:58	0
0.00	MH	Start node type, manhole, reference number: F4	00:00:00	0																																					
0.00	WL	Water level, 5% of the vertical dimension	00:00:03	0																																					
3.20	JN	Junction at 1 o'clock, diameter: 100mm	00:00:21	0																																					
6.40	JN	Junction at 11 o'clock, diameter: 100mm	00:00:43	0																																					
8.00	WL	Water level, 30% of the vertical dimension	00:01:01	0																																					
8.60	CUW	Loss of vision, camera under water	00:01:12	0																																					
10.40	SA	Survey abandoned: UNDER WATER	00:01:58	0																																					

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0

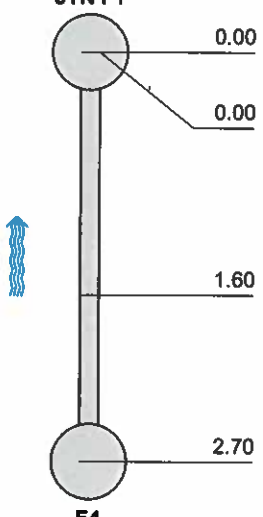
## Inspection Report

Section Number : <b>8</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>F4X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>JTN F1 ← F4</b>	US MH: <b>F4</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>2.70</b>	DS MH: <b>JTN F1</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Foul</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>150 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
 Recommendation:

1:50	Position m	Code	Observation	MPEG	Photo	Grade																				
<div style="display: flex; align-items: center;"> <div style="margin-right: 20px;"> <p>Depth: <b>JTN F1</b></p>  </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 15%;">MH</td> <td style="width: 5%;">Start node type, manhole, reference number: JTN F1</td> <td style="width: 45%;">00:00:00</td> <td style="width: 10%;">0</td> </tr> <tr> <td>0.00</td> <td>WL</td> <td>Water level, 5% of the vertical dimension</td> <td>00:00:01</td> <td>0</td> </tr> <tr> <td>1.60</td> <td>WL</td> <td>Water level, 40% of the vertical dimension</td> <td>00:00:16</td> <td>0</td> </tr> <tr> <td>2.70</td> <td>SA</td> <td>Survey abandoned: UNDER WATER</td> <td>00:00:55</td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: JTN F1	00:00:00	0	0.00	WL	Water level, 5% of the vertical dimension	00:00:01	0	1.60	WL	Water level, 40% of the vertical dimension	00:00:16	0	2.70	SA	Survey abandoned: UNDER WATER	00:00:55	0
0.00	MH	Start node type, manhole, reference number: JTN F1	00:00:00	0																						
0.00	WL	Water level, 5% of the vertical dimension	00:00:01	0																						
1.60	WL	Water level, 40% of the vertical dimension	00:00:16	0																						
2.70	SA	Survey abandoned: UNDER WATER	00:00:55	0																						

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0

**Project Information**

Project Name	Client's ref :	Contractor's ref :	Date:
HUNTERS MILL (STORM)	001	001	21/03/2017

## Description

**Client**

Company: MC ADAM DESIGN  
Contact: [REDACTED]  
Department: 1C CASTLEREAGH BUSINESS PARK  
Street: 478 CASTLEREAGH ROAD  
City: BELFAST BT5 6BQ  
Phone: 02890402000  
Fax: 02890794144  
Mobile:  
E-Mail:

**Site**

Company: MC ADAM DESIGN  
Contact: [REDACTED]  
Department: HUNTERSMILL (STORM)  
Street: HUNTERS MILL  
City: DOWNPATRICK  
Phone: 0289040200  
Fax: 02890794144  
Mobile:  
E-Mail:

**Contractor**

Company: CONTRACT SERVICES DGN LTD  
Contact: [REDACTED]  
Department: CCTV INSPECTION SURVEY  
Street: 15 BOVEAN ROAD  
City: DUNGANNON  
Phone: 02887723003  
Fax: 02887727971  
Mobile:  
E-Mail: contractserv@aol.com

### Legend of Classification (Section)

Project Name <b>HUNTERS MILL (STORM)</b>	Project Number:	Date: <b>21/03/2017</b>
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<p><b>1:</b></p> <p>Brick: No Structural Defects Pipe: No Structural Defects</p> <p style="text-align: center;">Acceptable Structural Condition</p>
<p><b>2:</b></p> <p>Brick: Minor cracking, Surface mortar loss, Spalling slight, Wear slight Pipe: Circumferential crack, Moderate joint defects, Spalling slight, Wear slight</p> <p style="text-align: center;">Minor collapse risk in short term but potential for further deterioration</p>
<p><b>3:</b></p> <p>Brick: Total mortarloss without other defects, single brick displaced, Deformation up to 5%, Spalling medium, Wear medium Pipe: Fractures with deformation up to 5%, Longitudinal cracking or multiple cracking, Minor loss of level, More severe joint</p> <p style="text-align: center;">! Collapse unlikely in near future but future deterioration likely !</p>
<p><b>4:</b></p> <p>Brick: Total mortarloss with deformation greater than 10%, Deformation up to 10% and fractured, Displaced/hanging brickwork, Small number of missing bricks Pipe: Broken, Deformation up to 10% and broken, Fractured with deformation 5 - 10%, Multiple fractures, serious loss of level, Spalling large, Wear large</p> <p style="text-align: center;">!! Collapse likely in foreseeable future !!</p>
<p><b>5:</b></p> <p>Brick: Already collapsed, Missing invert, Deformation over 10% and fractured, Displaced/hanging brickwork and deformation over 10%, Extensive missing bricks Pipe: Already collapsed, Deformation over 10% and broken, Extensive areas of fabric missing, Fractured with deformation over 10%</p> <p style="text-align: center;">!!! Collapsed or collapse imminent !!!</p>

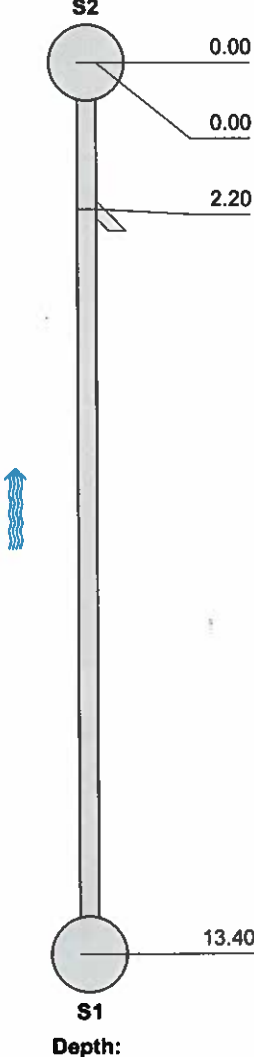
## Inspection Report

Section Number : <b>1</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>S1X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>S2 ← S1</b>	US MH: <b>S1</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length <b>13.40</b>	DS MH: <b>S2</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Surface water</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height <b>150 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
Recommendation:

1:114	Position m	Code	Observation	MPEG	Photo	Grade																								
<div style="display: flex; align-items: flex-start;"> <div style="flex: 1;"> <p>Depth: <b>S2</b></p>  </div> <table border="1" style="margin-left: 10px; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 5%;">MH</td> <td style="width: 45%;">Start node type, manhole, reference number: S2</td> <td style="width: 10%;">00:00:00</td> <td style="width: 5%;"></td> <td style="width: 5%;">0</td> </tr> <tr> <td>0.00</td> <td>WL</td> <td>Water level, 0% of the vertical dimension</td> <td>00:00:19</td> <td></td> <td>0</td> </tr> <tr> <td>2.20</td> <td>JN</td> <td>Junction at 9 o'clock, diameter: 150mm</td> <td>00:00:26</td> <td></td> <td>0</td> </tr> <tr> <td>13.40</td> <td>MHF</td> <td>Finish node type, manhole, reference number: S1</td> <td>00:00:50</td> <td></td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: S2	00:00:00		0	0.00	WL	Water level, 0% of the vertical dimension	00:00:19		0	2.20	JN	Junction at 9 o'clock, diameter: 150mm	00:00:26		0	13.40	MHF	Finish node type, manhole, reference number: S1	00:00:50		0
0.00	MH	Start node type, manhole, reference number: S2	00:00:00		0																									
0.00	WL	Water level, 0% of the vertical dimension	00:00:19		0																									
2.20	JN	Junction at 9 o'clock, diameter: 150mm	00:00:26		0																									
13.40	MHF	Finish node type, manhole, reference number: S1	00:00:50		0																									
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>STR no def</td> <td>STR peak</td> <td>STR mean</td> <td>STR total</td> <td>STR grade</td> <td>SER no def</td> <td>SER peak</td> <td>SER mean</td> <td>SER total</td> <td>SER grade</td> </tr> <tr> <td>0</td> <td>0.0</td> <td>0.0</td> <td>0.0</td> <td>1.0</td> <td>0</td> <td>0.0</td> <td>0.0</td> <td>0.0</td> <td>1.0</td> </tr> </table>							STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade	0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0				
STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade																					
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0																					



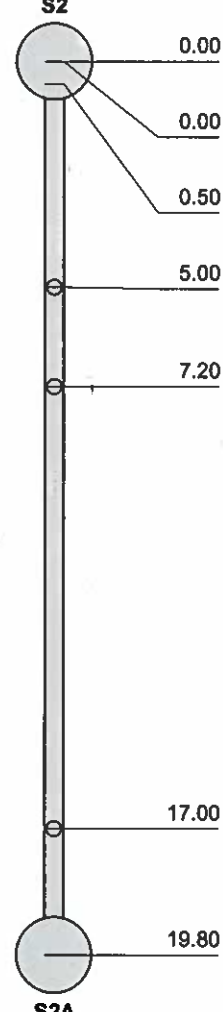
## Inspection Report

Section Number : <b>2</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>S2X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>S2 → S2A</b>	US MH: <b>S2</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>19.80</b>	DS MH: <b>S2A</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Surface water</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>225 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
Recommendation:

1:168	Position m	Code	Observation	MPEG	Photo	Grade																																										
<div style="display: flex; align-items: flex-start;"> <div style="width: 20%; text-align: right;"> <p>Depth: <b>S2</b></p>  </div> <table border="1" style="width: 80%; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 5%;">MH</td> <td style="width: 50%;">Start node type, manhole, reference number: S2</td> <td style="width: 10%;">00:00:00</td> <td style="width: 5%;"></td> <td style="width: 5%;">0</td> </tr> <tr> <td>0.00</td> <td>WL</td> <td>Water level, 0% of the vertical dimension</td> <td>00:00:02</td> <td></td> <td>0</td> </tr> <tr> <td>0.50</td> <td>JN</td> <td>Junction at 1 o'clock, diameter: 150mm</td> <td>00:00:05</td> <td></td> <td>0</td> </tr> <tr> <td>5.00</td> <td>JN</td> <td>Junction at 12 o'clock, diameter: 150mm</td> <td>00:00:22</td> <td></td> <td>0</td> </tr> <tr> <td>7.20</td> <td>JN</td> <td>Junction at 12 o'clock, diameter: 150mm</td> <td>00:00:31</td> <td></td> <td>0</td> </tr> <tr> <td>17.00</td> <td>JN</td> <td>Junction at 12 o'clock, diameter: 150mm</td> <td>00:00:56</td> <td></td> <td>0</td> </tr> <tr> <td>19.80</td> <td>MHF</td> <td>Finish node type, manhole, reference number: S2A</td> <td>00:00:56</td> <td></td> <td>0</td> </tr> </table></div>							0.00	MH	Start node type, manhole, reference number: S2	00:00:00		0	0.00	WL	Water level, 0% of the vertical dimension	00:00:02		0	0.50	JN	Junction at 1 o'clock, diameter: 150mm	00:00:05		0	5.00	JN	Junction at 12 o'clock, diameter: 150mm	00:00:22		0	7.20	JN	Junction at 12 o'clock, diameter: 150mm	00:00:31		0	17.00	JN	Junction at 12 o'clock, diameter: 150mm	00:00:56		0	19.80	MHF	Finish node type, manhole, reference number: S2A	00:00:56		0
0.00	MH	Start node type, manhole, reference number: S2	00:00:00		0																																											
0.00	WL	Water level, 0% of the vertical dimension	00:00:02		0																																											
0.50	JN	Junction at 1 o'clock, diameter: 150mm	00:00:05		0																																											
5.00	JN	Junction at 12 o'clock, diameter: 150mm	00:00:22		0																																											
7.20	JN	Junction at 12 o'clock, diameter: 150mm	00:00:31		0																																											
17.00	JN	Junction at 12 o'clock, diameter: 150mm	00:00:56		0																																											
19.80	MHF	Finish node type, manhole, reference number: S2A	00:00:56		0																																											

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0

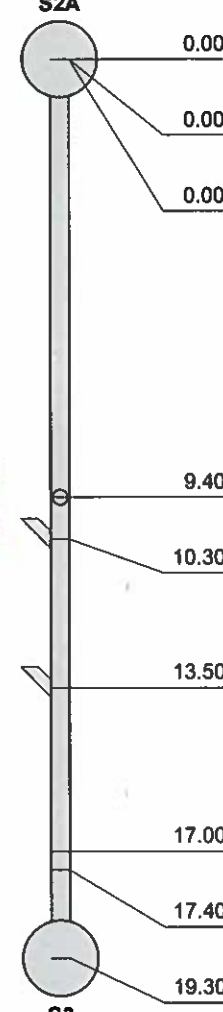
## Inspection Report

Section Number : <b>3</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>S2AX</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>S2A → S3</b>	US MH: <b>S2A</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>19.30</b>	DS MH: <b>S3</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Surface water</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>225 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
Recommendation:

1:163	Position m	Code	Observation	MPEG	Photo	Grade																																																						
<div style="display: flex; align-items: flex-start;"> <div style="width: 20%; text-align: right;"> <p>Depth: <b>S2A</b></p>  </div> <table border="1" style="width: 80%; border-collapse: collapse;"> <tr> <td style="width: 10%; text-align: right;">0.00</td> <td style="width: 5%;">MH</td> <td style="width: 45%;">Start node type, manhole, reference number: S2A</td> <td style="width: 10%;">00:00:00</td> <td style="width: 5%;"></td> <td style="width: 5%; text-align: right;">0</td> </tr> <tr> <td style="text-align: right;">0.00</td> <td>WL</td> <td>Water level, 5% of the vertical dimension</td> <td>00:00:00</td> <td></td> <td style="text-align: right;">0</td> </tr> <tr> <td style="text-align: right;">0.00</td> <td>WL</td> <td>Water level, 5% of the vertical dimension</td> <td>00:00:16</td> <td></td> <td style="text-align: right;">0</td> </tr> <tr> <td style="text-align: right;">9.40</td> <td>JN</td> <td>Junction at 12 o'clock, diameter: 150mm</td> <td>00:00:37</td> <td></td> <td style="text-align: right;">0</td> </tr> <tr> <td style="text-align: right;">10.30</td> <td>JN</td> <td>Junction at 1 o'clock, diameter: 150mm</td> <td>00:00:40</td> <td></td> <td style="text-align: right;">0</td> </tr> <tr> <td style="text-align: right;">13.50</td> <td>JN</td> <td>Junction at 3 o'clock, diameter: 150mm</td> <td>00:00:52</td> <td></td> <td style="text-align: right;">0</td> </tr> <tr> <td style="text-align: right;">17.00</td> <td>CUW</td> <td>Loss of vision, camera under water</td> <td>00:00:46</td> <td></td> <td style="text-align: right;">0</td> </tr> <tr> <td style="text-align: right;">17.40</td> <td>WL</td> <td>Water level, 40% of the vertical dimension</td> <td>00:00:54</td> <td></td> <td style="text-align: right;">0</td> </tr> <tr> <td style="text-align: right;">19.30</td> <td>SA</td> <td>Survey abandoned: UNDER WATER</td> <td>00:00:56</td> <td></td> <td style="text-align: right;">0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: S2A	00:00:00		0	0.00	WL	Water level, 5% of the vertical dimension	00:00:00		0	0.00	WL	Water level, 5% of the vertical dimension	00:00:16		0	9.40	JN	Junction at 12 o'clock, diameter: 150mm	00:00:37		0	10.30	JN	Junction at 1 o'clock, diameter: 150mm	00:00:40		0	13.50	JN	Junction at 3 o'clock, diameter: 150mm	00:00:52		0	17.00	CUW	Loss of vision, camera under water	00:00:46		0	17.40	WL	Water level, 40% of the vertical dimension	00:00:54		0	19.30	SA	Survey abandoned: UNDER WATER	00:00:56		0
0.00	MH	Start node type, manhole, reference number: S2A	00:00:00		0																																																							
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19.30	SA	Survey abandoned: UNDER WATER	00:00:56		0																																																							

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0

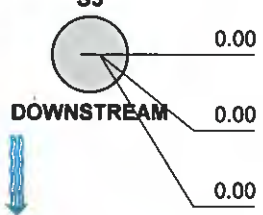
## Inspection Report

Section Number : <b>4</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>S3X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>S3 → DOWNSTREAM</b>	US MH: <b>S3</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>0.00</b>	DS MH: <b>DOWNSTREAM</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Surface water</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>225 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
Recommendation:

1:50	Position m	Code	Observation	MPEG	Photo	Grade																		
<div style="display: flex; align-items: flex-start;"> <div style="margin-right: 20px;"> <p>Depth: <b>S3</b></p>  <p>DOWNSTREAM</p> <p>Depth:</p> </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 15%;">MH</td> <td style="width: 45%;">Start node type, manhole, reference number: S3</td> <td style="width: 10%;">00:00:00</td> <td style="width: 10%;"></td> <td style="width: 5%;">0</td> </tr> <tr> <td>0.00</td> <td>REM</td> <td>General remark: MANHOLE BLOCKED</td> <td>00:00:06</td> <td></td> <td>0</td> </tr> <tr> <td>0.00</td> <td>SA</td> <td>Survey abandoned: MANHOLE BLOCKED</td> <td>00:00:06</td> <td></td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: S3	00:00:00		0	0.00	REM	General remark: MANHOLE BLOCKED	00:00:06		0	0.00	SA	Survey abandoned: MANHOLE BLOCKED	00:00:06		0
0.00	MH	Start node type, manhole, reference number: S3	00:00:00		0																			
0.00	REM	General remark: MANHOLE BLOCKED	00:00:06		0																			
0.00	SA	Survey abandoned: MANHOLE BLOCKED	00:00:06		0																			
STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade															
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0															

**Section Pictures - 20/03/2017 - S3X**

Section Number : 4	Survey Direction : S3 → DOWNSTREAM	PLR : S3X	Client's Ref : 001	Contractor's Ref : 001
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S3X\_1041d859-606e-485d-b530-5c546b984715\_20170321\_124925\_340.jpg, 00:00:06,  
0.00m  
General remark

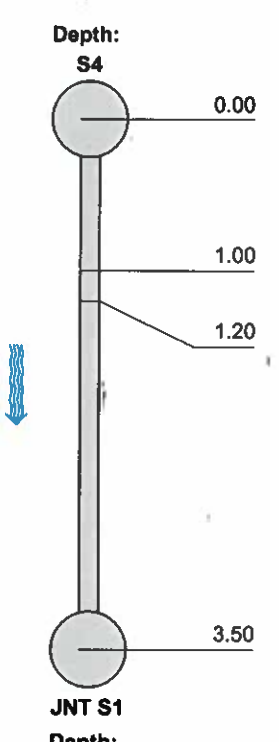
## Inspection Report

Section Number : <b>5</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>S4X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>S4 → JNT S1</b>	US MH: <b>S4</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>3.50</b>	DS MH: <b>JNT S1</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Surface water</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>225 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
 Recommendation:

1:50	Position m	Code	Observation	MPEG	Photo	Grade																								
<div style="display: flex; align-items: center;"> <div style="margin-right: 20px;"> <p>Depth: <b>S4</b></p>  <p><b>JNT S1</b> Depth:</p> </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 15%;">MH</td> <td style="width: 5%;">Start node type, manhole, reference number: S4</td> <td style="width: 10%;">00:00:00</td> <td style="width: 5%;"></td> <td style="width: 5%;">0</td> </tr> <tr> <td>1.00</td> <td>WL</td> <td>Water level, 50% of the vertical dimension</td> <td>00:00:15</td> <td></td> <td>0</td> </tr> <tr> <td>1.20</td> <td>CUW</td> <td>Loss of vision, camera under water</td> <td>00:00:15</td> <td></td> <td>0</td> </tr> <tr> <td>3.50</td> <td>SA</td> <td>Survey abandoned: UNDER WATER</td> <td>00:00:27</td> <td></td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: S4	00:00:00		0	1.00	WL	Water level, 50% of the vertical dimension	00:00:15		0	1.20	CUW	Loss of vision, camera under water	00:00:15		0	3.50	SA	Survey abandoned: UNDER WATER	00:00:27		0
0.00	MH	Start node type, manhole, reference number: S4	00:00:00		0																									
1.00	WL	Water level, 50% of the vertical dimension	00:00:15		0																									
1.20	CUW	Loss of vision, camera under water	00:00:15		0																									
3.50	SA	Survey abandoned: UNDER WATER	00:00:27		0																									

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0

## Inspection Report

Section Number : <b>6</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>JNT S1X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>S4 ← JNT S1</b>	US MH: <b>JNT S1</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>13.60</b>	DS MH: <b>S4</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Surface water</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>225 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
 Recommendation:

1:115	Position m	Code	Observation	MPEG	Photo	Grade																																										
<div style="display: flex; align-items: flex-start;"> <div style="margin-right: 20px;"> <p>Depth: <b>S4</b></p>  </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 15%;">MH</td> <td style="width: 5%;">Start node type, manhole, reference number: S4</td> <td style="width: 45%;"></td> <td style="width: 10%;">00:00:00</td> <td style="width: 5%;"></td> <td style="width: 10%;">0</td> </tr> <tr> <td>0.00</td> <td>WL</td> <td>Water level, 0% of the vertical dimension</td> <td></td> <td>00:00:31</td> <td></td> <td>0</td> </tr> <tr> <td>6.00</td> <td>JN</td> <td>Junction at 1 o'clock, diameter: 150mm</td> <td></td> <td>00:00:52</td> <td></td> <td>0</td> </tr> <tr> <td>8.00</td> <td>WL</td> <td>Water level, 25% of the vertical dimension</td> <td></td> <td>00:00:42</td> <td></td> <td>0</td> </tr> <tr> <td>9.00</td> <td>CUW</td> <td>Loss of vision, camera under water</td> <td></td> <td>00:00:46</td> <td></td> <td>0</td> </tr> <tr> <td>13.60</td> <td>SA</td> <td>Survey abandoned: UNDER WATER</td> <td></td> <td>00:00:00</td> <td></td> <td>0</td> </tr> </table></div>							0.00	MH	Start node type, manhole, reference number: S4		00:00:00		0	0.00	WL	Water level, 0% of the vertical dimension		00:00:31		0	6.00	JN	Junction at 1 o'clock, diameter: 150mm		00:00:52		0	8.00	WL	Water level, 25% of the vertical dimension		00:00:42		0	9.00	CUW	Loss of vision, camera under water		00:00:46		0	13.60	SA	Survey abandoned: UNDER WATER		00:00:00		0
0.00	MH	Start node type, manhole, reference number: S4		00:00:00		0																																										
0.00	WL	Water level, 0% of the vertical dimension		00:00:31		0																																										
6.00	JN	Junction at 1 o'clock, diameter: 150mm		00:00:52		0																																										
8.00	WL	Water level, 25% of the vertical dimension		00:00:42		0																																										
9.00	CUW	Loss of vision, camera under water		00:00:46		0																																										
13.60	SA	Survey abandoned: UNDER WATER		00:00:00		0																																										

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0

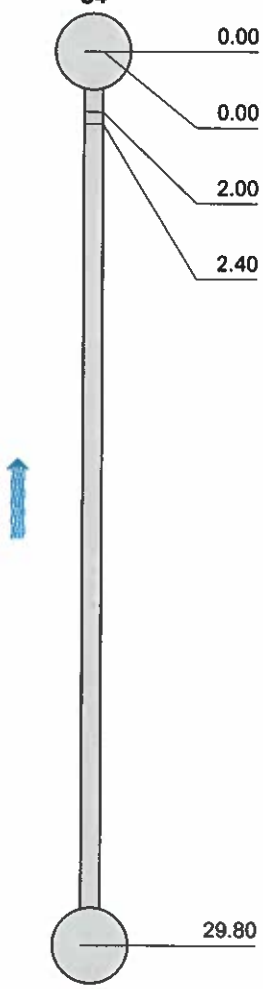
## Inspection Report

Section Number : <b>7</b>	Date : <b>20/03/2017</b>	Client's Ref : <b>001</b>	Weather : <b>No rain or snow</b>	Critical Drain/Sewer:	PLR : <b>WS5X</b>
Operator : <b>A MC NALLY</b>	Vehicle : <b>VW 1</b>	Camera : <b>RICO</b>	Preset :	Cleaned : <b>no</b>	Type of Drain : <b>Gravity drain/sewer</b>

Place: <b>DOWNPATRICK</b>	Direction: <b>S4 ← WS5</b>	US MH: <b>WS5</b>
Road: <b>HUNTERS MILL</b>	Catchment:	US Depth:
Location: <b>Road</b>	Total Length: <b>29.80</b>	DS MH: <b>S4</b>
Surface Cover:	Pipe Length:	DS Depth:

Use: <b>Surface water</b>	Pipe Shape: <b>Circular</b>
Year Laid:	Width / Height: <b>150 / 0</b>
Purpose: <b>Routine inspection of condition</b>	Flow Control: <b>No flow control</b>
Lining:	Pipe Material: <b>Polyvinyl chloride</b>

Comment:  
Recommendation:

1:252	Position m	Code	Observation	MPEG	Photo	Grade																																			
<div style="display: flex; align-items: flex-start;"> <div style="margin-right: 20px;"> <p>Depth: <b>S4</b></p>  </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">0.00</td> <td style="width: 15%;">MH</td> <td style="width: 5%;">Start node type, manhole, reference number: S4</td> <td style="width: 45%;"></td> <td style="width: 10%;">00:00:00</td> <td style="width: 10%;"></td> <td style="width: 5%;">0</td> </tr> <tr> <td>0.00</td> <td>WL</td> <td>Water level, 5% of the vertical dimension</td> <td></td> <td>00:00:03</td> <td></td> <td>0</td> </tr> <tr> <td>2.00</td> <td>WL</td> <td>Water level, 40% of the vertical dimension</td> <td></td> <td>00:00:08</td> <td></td> <td>0</td> </tr> <tr> <td>2.40</td> <td>CUW</td> <td>Loss of vision, camera under water</td> <td></td> <td>00:00:09</td> <td></td> <td>0</td> </tr> <tr> <td>29.80</td> <td>SA</td> <td>Survey abandoned: UNDER WATER</td> <td></td> <td>00:01:26</td> <td></td> <td>0</td> </tr> </table> </div>							0.00	MH	Start node type, manhole, reference number: S4		00:00:00		0	0.00	WL	Water level, 5% of the vertical dimension		00:00:03		0	2.00	WL	Water level, 40% of the vertical dimension		00:00:08		0	2.40	CUW	Loss of vision, camera under water		00:00:09		0	29.80	SA	Survey abandoned: UNDER WATER		00:01:26		0
0.00	MH	Start node type, manhole, reference number: S4		00:00:00		0																																			
0.00	WL	Water level, 5% of the vertical dimension		00:00:03		0																																			
2.00	WL	Water level, 40% of the vertical dimension		00:00:08		0																																			
2.40	CUW	Loss of vision, camera under water		00:00:09		0																																			
29.80	SA	Survey abandoned: UNDER WATER		00:01:26		0																																			

STR no def	STR peak	STR mean	STR total	STR grade	SER no def	SER peak	SER mean	SER total	SER grade
0	0.0	0.0	0.0	1.0	0	0.0	0.0	0.0	1.0

[REDACTED]

---

**From:** [REDACTED]  
**Sent:** 17 January 2013 16:06  
**To:** [REDACTED]  
**Cc:** [REDACTED]  
**Subject:** FW: SEC 1833 Hunter's Mill, Downpatrick  
**Importance:** High  
**Attachments:** SEC 1833 Hunter's Mill, Downpatrick = jw.xls

[REDACTED]

This is all very well but as you will see below we have already spent well over the bond amount and as the NIW prelim cert was issued in 2003 I don't see how they can expect Roads Service to foot the bill almost 10 years later.

[REDACTED]

---

**From:** [REDACTED]  
**Sent:** 17 January 2013 13:49  
**To:** [REDACTED]  
**Cc:** [REDACTED]  
**Subject:** FW: SEC 1833 Hunter's Mill, Downpatrick  
**Importance:** High

[REDACTED]

The bond amount for Hunters Mill was £12,600 and we have already spent £17,091 in this development. The Preliminary Certificate from NI Water was issued on 18/08/2003 which effectively allowed the bond to be reduced to 12 months maintenance (i.e. 90% bond reduction).

[REDACTED]

---

**From:** [REDACTED]  
**Sent:** 17 January 2013 12:33  
**To:** [REDACTED]  
**Subject:** FW: SEC 1833 Hunter's Mill, Downpatrick

FYI

[REDACTED]

Private Streets Section  
DRD Roads Service  
Rathkeltair House, Market Street  
Downpatrick. BT30 6AJ  
**Tel:** 028 4461 8129 [REDACTED]

[REDACTED]



[REDACTED]

---

**From:** [REDACTED]  
**Sent:** 17 January 2013 12:33  
**To:** [REDACTED]  
**Subject:** FW: SEC 1833 Hunter's Mill, Downpatrick  
**Attachments:** SEC 1833 Hunter's Mill, Downpatrick = jw.xls  
FYI

[REDACTED]  
Private Streets Section  
DRD Roads Service  
Rathkeltair House, Market Street  
Downpatrick. BT30 6AJ  
Tel: 028 4461 8129 | [REDACTED]  
[REDACTED]  
[REDACTED]

---

**From:** [REDACTED]  
**Sent:** 17 January 2013 09:14  
**To:** [REDACTED]  
**Subject:** FW: SEC 1833 Hunter's Mill, Downpatrick

[REDACTED]

In advance of our meeting about Hunters Mill I have attached snag list in relation to the site. This is snags for what we could see about 50% of the site. A considerable part of the site could not be surveyed and completion of the survey may require excavation to fix the pipe to get the camera down.

Cost of the snags as listed would be in the region of £25k assuming reasonable ground conditions. However we are not sure how good or bad the ground conditions are.

Regards

[REDACTED]  
Developers Services – Requisition Engineer South  
**northern ireland water**  
Ballykeel Office  
188 Larne Road Link,  
Ballykeel,  
Ballymena,  
BT42 3HA  
Mob: [REDACTED]  
Tel: 08458 770002 [REDACTED]  
Web: [www.niwater.com](http://www.niwater.com)

 Please consider the environment before printing this e-mail

17/01/2013

Repair schedule

Type	Ref.	Condition	Repair
Foul connections	1	large open joint @ d/s mh	replace 100 on 150 connection
	2	satisfactory	none
	3	satisfactory	none
	4	no CCTV survey	unknown
	5	no CCTV survey	unknown
	6	2 bends, water lying	replace 100 on 150 connection
	7	satisfactory	none
	8	satisfactory	none
	9	satisfactory	none
	10	satisfactory	none
	11	satisfactory	none
	12	2m dip	replace 100 on 150 connection
	13	no CCTV survey	replace 100 on 150 connection
	14	underwater inc. connection	replace 100 on 150 connection
	15	no CCTV survey	replace 100 on 150 connection
	16	underwater inc. connection	replace 100 on 150 connection
	17	underwater inc. connection	replace 100 on 150 connection
	18	underwater survey abandoned	unknown
	19	2 bends, 5m dip	unknown
	20	no CCTV survey	unknown
	21	mh blocked with debris, no CCTV	unknown
	22	satisfactory	replace 100 on 150 connection
	23	sewer blocked, no CCTV	replace 100 on 150 connection
	24	underwater excl. connection	none
	25	underwater excl. connection	none
	26	underwater inc. connection	replace 100 on 150 connection
	27	satisfactory	none
	28	3 bends (1 sharp)	none
	29	satisfactory	none
	31=30	underwater	replace 100 on 150 connection
	No work in private property.		
Replace 100 on 150 connection -- included in sewer rate.			
MH numbers as CCTV report drawing			
Foul main	F1-F2	satisfactory	none
	F2-F3	11m+F3 underwater	relay 35-48=13m 150 PVC 1.5- reconstruct F3
	F3-F4	17m underwater	relay 17m 150 PVC 1.5-
	F5-F4	18m underwater	relay 6-26=20m 150 PVC 1.5-
	F4-F6	no CCTV survey	clean+CCTV 40m 150 dia
	F6-F7	no CCTV survey	CCTV 30m 600 dia
	F7-F8	no CCTV survey	CCTV 10m 600 dia
	Surface main	S1-S2	satisfactory
S2-S2A		satisfactory	none
S2A-S3		9m+S3 underwater	relay 15-25=10m 150 PVC 1.5+ reconstruct S3
S3-S4		18m underwater	relay 20m 150 PVC 1.5+
S5-S4		displaced joint, 20m underwater	relay 24m 150 PVC 1.5-
S4-S6		no CCTV survey	clean+CCTV 40m 200 dia
S6-S7		no CCTV survey	CCTV 35m 400 dia



Department for

**Infrastructure**

An Roinn

**Bonneagair**

[www.infrastructure-ni.gov.uk](http://www.infrastructure-ni.gov.uk)

Councillor C Enright

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Dear Councillor Enright

Thank you for your e-mail to Andrew Murray on 20<sup>th</sup> April 2018. I am replying to you as the subject matter falls within my area of responsibility.

In your e-mail you asked for details of *'the amount of money spent on fixing the sewers in the other 4 estates subject to the Ministerial Order to make them fit to be adopted'*.

As you will be aware from the response from the Department, dated 30 April 2018, to your original e-mail of 26th February 2018, no Ministerial order exists instructing Northern Ireland Water to bring the sewers, within a number of developments, up to adoptable standards, where the developer is no longer trading.

However, the Department's letter did identify four sites where there is a joint roads and sewer bond held by the Department and where the sewers in the developments have not yet been adopted.

NI Water has informed me that a total of £204,543 has been spent on fixing the sewers in the Teal Rocks development in Newtownards and this site has now been adopted.

There has been no expenditure on fixing the sewers in the other three sites.

However, NI Water has carried out some investigatory works on the other sites as follows:

£25,000 in Hunter's Mill;

£13,469 in Fishertown; and

£8,400 in Millmount.

The Department will continue to work to resolve these sites through the normal procedures. However, this is dependent on many factors including ground conditions, land availability, enforcement proceedings and the availability of public money.



I hope you find this helpful.

Yours sincerely



**Linda MacHugh**

