



(9)

Lisburn & Castlereagh Planning Authority

Network Planning
Eastern Division
Benson House
40A Benson Street
LISBURN
BT28 2BG

Tel: 0300 200 7893

Planning Authority Case Officer: [REDACTED]
Planning Application Ref: LA05/2021/1372/RM
Date consultation received: 10/01/2022
Date of Reply: 17/02/2022

Location: 30m North of 75 Dromore Road, Hillsborough.**Proposal:** Dwelling.

DfI- Roads offers no objection to this development proposal.
Should Planning Service be minded to progress the application towards an approval, DfI – Roads recommends the following conditions and informatives be considered for inclusion in any decision notice issued:-

Conditions

1. The vehicular access, including any visibility splays and any forward sight distance, shall be provided in accordance with Drawing No. 02, bearing the date stamp 10 December 2021, prior to the commencement of any other works or other development hereby permitted. The area within the visibility splays and any forward sight line shall be cleared to provide a level surface no higher than 250 mm above the level of the adjoining carriageway and such splays shall be retained and kept clear thereafter.
REASON: To ensure there is a satisfactory means of access in the interest of road safety and the convenience of road users.
2. The access gradient to the dwelling hereby permitted shall not exceed 8% (1 in 12.5) over the first 5 m outside the road boundary. Where the vehicular access crosses footway or verge, the access gradient shall be between 4% (1 in 25) maximum and 2.5% (1 in 40) minimum and shall be formed so that there is no abrupt change of slope along the footway.
REASON: To ensure there is a satisfactory means of access in the interests of road safety and the convenience of road users.



3. No dwelling shall be occupied until hard surfaced areas have been constructed in accordance with approved drawing no. 02, bearing date stamp 10 December 2021 to provide adequate facilities for parking and circulating within the site. No part of these hard surfaced areas shall be used for any purpose at any time other than for the parking and movement of vehicles.

REASON: To ensure that adequate provision has been made for parking.

4. Any existing street furniture or landscaping obscuring or located within the proposed carriageway, sight visibility splays, forward sight lines or access shall, after obtaining permission from the appropriate authority, be removed, relocated or adjusted at the applicant's expense.

REASON: In the interest of road safety and the convenience of road users.

Informatives

1. Precautions shall be taken to prevent the deposit of mud and other debris on the adjacent road by vehicles travelling to and from the construction site. Any mud, refuse, etc deposited on the road as a result of the development, must be removed immediately by the operator/contractor.
2. Notwithstanding the terms and conditions of the Planning Department's approval set out above, you are required under Article 71-83 inclusive of the Roads (NI) Order 1993 to be in possession of the Department for Infrastructure - Road's consent before any work is commenced which involves making or altering any opening to any boundary adjacent to the public road, verge, or footway or any part of said road, verge, or footway bounding the site. The consent is available on personal application to the DfI - Roads Section Engineer whose address is Lisburn & Castlereagh Section Office, 40a Benson Street, Lisburn. A monetary deposit will be required to cover works on the public road.
3. All construction plant and materials shall be stored within the curtilage of the site.
4. It is the responsibility of the developer to ensure that water does not flow from the site onto the public road (including verge or footway) and that existing roadside drainage is preserved and does not allow water from the road to enter the site.

Please re-consult DfI - Roads in the event of a meeting request or when further information is available.

DfI – Roads Case Officer: 
Network Planning

Issued on behalf of the Divisional Roads Manager

Planning Application Consultation (DC) Checklist

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(To be returned via ePIC to Planning Division with Initial Consultation Response)

Priority Road Name →	Dromore Road	Planning Ref →	LA05/2021/1372/RM
Application suitable for RS cat F process?	No	Site visited?	Yes
Transport Assessment Required?	No	Note: Site visit not normally required for cat F process when: - plans contain sufficient information, or - site is known to case officer.	

Visibility Splays and Forward Sight Distances (DCAN 15):n/a			
Traffic speed (85%ile) on priority road →	40 mph	Measured	
Speed limit →	40 mph		
Road Width (m) →	6.5	Verge Width (m) →	3.0 – 3.5
Access	Requirement (m) →	Available?	Comment
X-distance →	2.4	Yes	
Y-distance →	79 & Tangent	Yes	
Forward sight dist →	79	Yes	
Reasons for variations from standards, if required e.g. preservation of trees/hedges: .			

Infrastructure:	Comment / Req'd Standard ↓	
Does 'Creating Places' apply? :	Yes/No	
Private Streets Determination required?	Yes/No	
Additional infrastructure required?	Yes/No	
Technical/Geotechnical Assessment req'd?	Yes/No	
Car parking provision?	Yes/No	Condition 3 per house.
DMRB relaxation/departure from standard?	Yes/No	
Street furniture to be moved/removed?	Yes/No	
Addnl street lighting required (RSPPG E011)?	Yes/No	
Gradients OK?	Yes/No	

Surface water and drainage provision OK?	Yes/No	
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Site Sketch:

See site drawings.

Has 3 rd Party Comment been received and considered?	Yes	
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Roads Service Recommendation on Application		
	Tick	Reason
No objection to the proposal		
No objection, subject to Conditions	√	
No objection, with Informatives	√	
Further details reqd from applicant		
Further analysis required		
Not acceptable		
Additional comments, if any?		

	Name	Grade	Signature	Date
Case Officer:		HPTO		17/02/22
Supervisory Officer: <small>(Required for all PS determined sites and all other commercial sites)</small>				

SITE/OFFICE MEETINGS
TELEPHONE QUERIES

5

DATE 17/2/22

Eastern Division

Hydebank

REFERENCE L205/21/1312/22

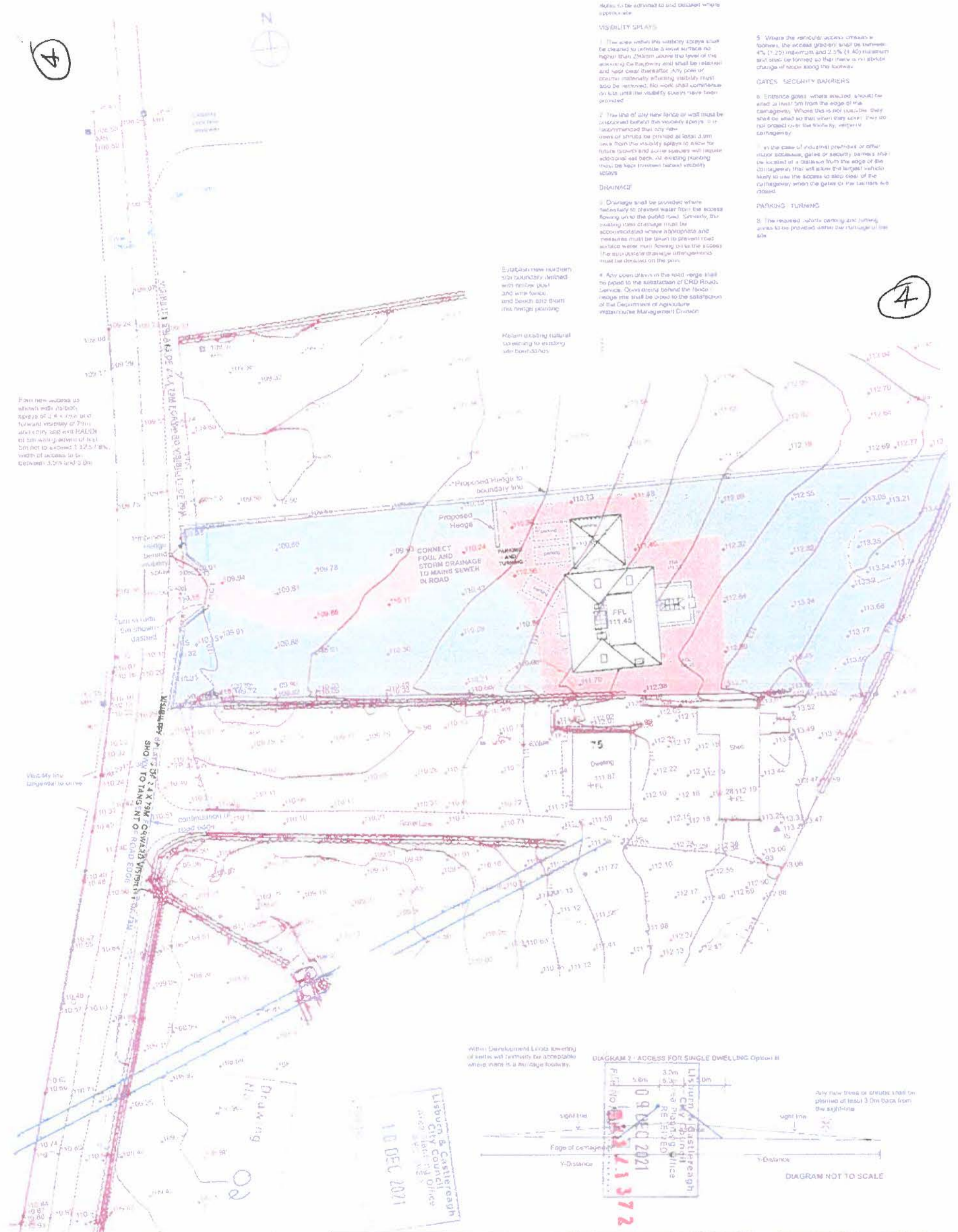
4 Hospital Road

Belfast BT8 8JL

SUBJECT No 75 Drummog Road - DRAINAGE

ATTENDANCE/CALLER

REF	SUMMARY	ACTION
	<p>see L205/17/1038/0 + L205/21/0276/22</p> <p>No OBJECTIONS</p> <p>~</p>	



- Must be approved and detailed where appropriate
- VISIBILITY SPLAYS**
- The area within the visibility splay shall be cleared to a level 3 mm surface no higher than 200mm above the level of the adjoining carriageway and shall be retained and kept clear thereafter. Any pole or column materially affecting visibility must also be removed. No work shall commence on site until the visibility splay has been provided.
 - The line of any new fence or wall must be indicated before the visibility splay. It is recommended that any new rows of shrubs be planted at least 3.0m back from the visibility splay to allow for future growth and so no shrubs will require additional cut back. All existing planting must be kept in view to maintain visibility splay.
- DRAINAGE**
- Drainage shall be provided where necessary to prevent water from the access flowing onto the public road. Similarly, the existing road drainage must be accommodated where appropriate and measures must be taken to prevent road surface water from flowing onto the access. For all water drainage arrangements, must be detailed on the plan.
 - Any open drains in the road verge shall be piped to the satisfaction of CRD Road Services. Over drains behind the fence/ hedge line shall be piped to the satisfaction of the Department of Agriculture Watercourse Management Division.

- Where the vehicular access crosses a footway, the access gateway shall be formed 4% (1:25) inset from and 2.5% (1:40) maximum set back so that there is no abrupt change of level along the footway.
- GATES / SECURITY BARRIERS**
- Entrance gates, where required, should be sited at least 5m from the edge of the carriageway. Where this is not possible, they shall be sited so that when they are open, they do not project over the kerbline, thereby creating a hazard.
 - In the case of industrial premises or other major structures, gates or security barriers shall be located at a distance from the edge of the carriageway that will allow the largest vehicle likely to use the access to stop clear of the carriageway when the gates or the barriers are closed.
- PARKING / TURFING**
- The required parking capacity and turning areas to be provided within the curtilage of the site.

From new access to existing main road, splay of 2.4 x 4.0m and forward visibility of 7.5m and entry and exit HALTS of 5m width, width of 1.25 x 7.5m, width of access to be between 3.0m and 3.5m.

Establish new northern site boundary defined with fence post and wire fence, and bench 0.10m from this fence planting

Mains existing natural capacity to existing site boundaries

With Development Level lowering of kerb, all curbs to be acceptable where there is a height failure.

DIAGRAM 3 - ACCESS FOR SINGLE DWELLING Option B

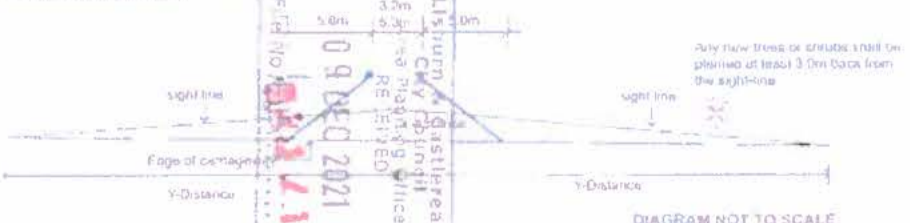
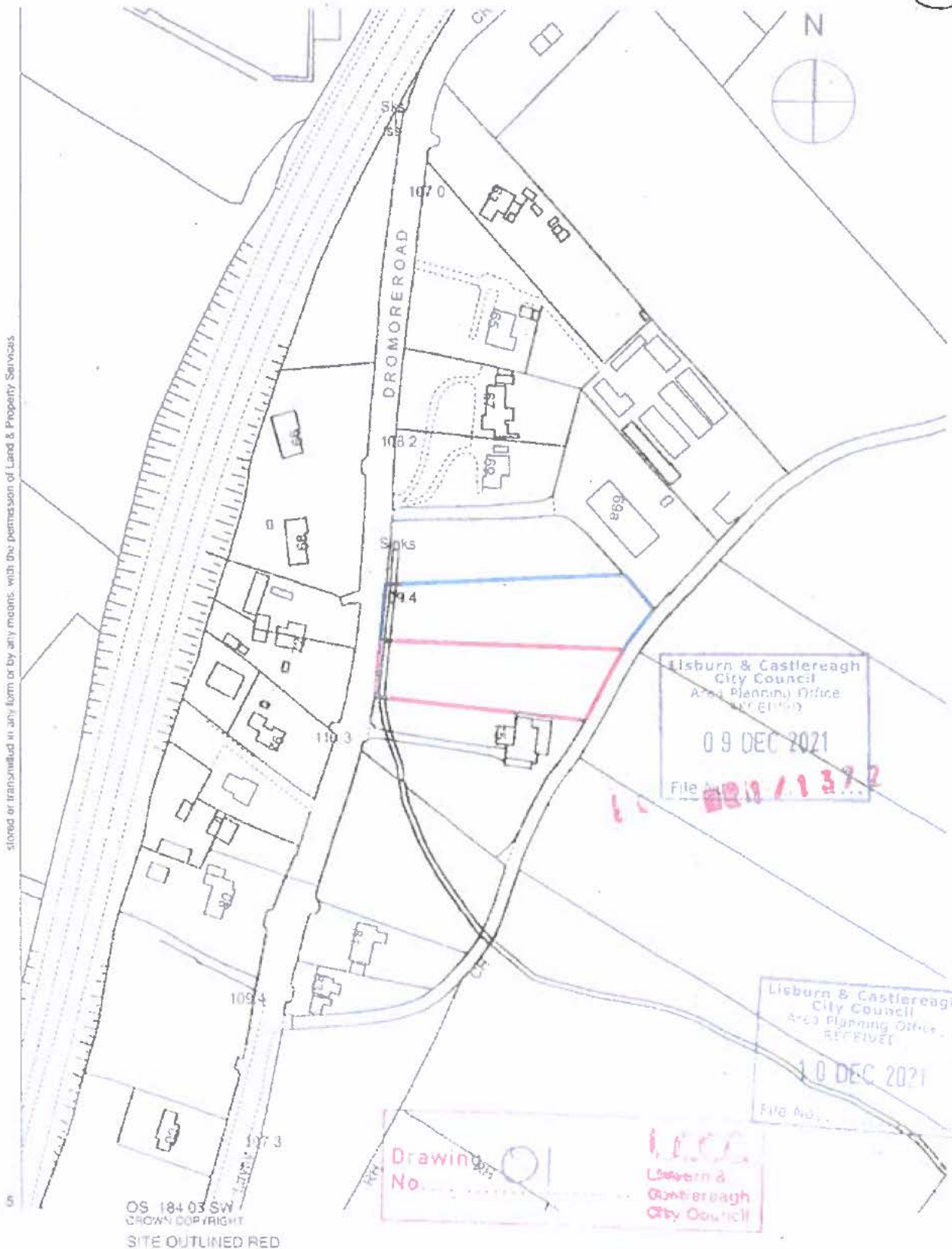


DIAGRAM NOT TO SCALE

Client:	[REDACTED]	McCREADY ARCHITECTS	
Project:	PROPOSED DWELLING 30m NORTH OF 75 DROMORE ROAD HILLSBOROUGH	Chartered Architects and Planning Consultants 8 Market Place Lisburn BT28 1AN T: 028 9266 2367 F: 028 9266 2263 E: mail@mccreadyarchitects.co.uk W: www.mccreadyarchitects.co.uk	
Drawing:	PROPOSED SITE LAYOUT	Date:	09.12.2021
Scale:	1:500 @ A3	Rev:	
Project No:	63-20 / RS	Drawing No:	02

stored or transmitted in any form or by any means, with the permission of Land & Property Services



Client: [REDACTED]	
Project: PROPOSED DWELLING 30m NORTH OF 75 DROMORE RD H LLSBOROUGH	
Drawing: SITE LOCATION PLAN	Date: 09 12 2021
Scale: 1:2500@ A4	Rev:
Project No: 63 20 / RS	Drawing No: 01

MCGREADY | ARCHITECTS
 Chartered Architects and Planning Consultants
 3 Market Place
 Lisburn
 BT28 1AN
 T: 028 9265 2357
 F: 028 3255 2263
 E: mail@mccreadyarchitects.co.uk
 W: www.mccreadyarchitects.co.uk

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DFI Roads - Hydebank
Planning Consultation,
DFI Roads
Eastern Division
Hydebank,
4 Hospital Road,
Belfast,
BT8 8JL

Lisburn & Castlereagh City Council
Local Planning Office
Island Civic Centre
Lagan Valley Island
The Island
Lisburn
BT27 4RL

31-1-22
DEPARTMENT
FOR
INFRASTRUCTURE
NETWORK PLANNING
10 JAN 2022
RECEIVED

Date: 10th January 2022
Your Ref: 63.20 / RS
Our Ref: LA05/2021/1372/RM
(Please quote at all times)
Please Contact: [Redacted]
Contact Number [Redacted]

Dear Sir/Madam,

Applic Ref.	LA05/2021/1372/RM	Application Type	Reserved Matters
Location:	30m north of 75 Dromore Road Hillsborough	Proposal:	Dwelling and garage
Applicant:	[Redacted]	Agent:	Mc Cready Architects
Grid Reference	323187 357854	Date of Application	09.12.2021
Hierarchy	LOCDEV		
British Grid Reference	EAST134253 NORTH 514288		

LA05/17/1538/6
LA05/21/0276/2m

SITE HISTORY:

TYPE	PROPOSAL	LOCATION	Determination	Date
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ADDITIONAL INFORMATION RELATING TO THIS APPLICATION, IF ANY:

This application is subject to the Council's scheme of delegation.

WMU - May we have your comments re: sewerage.

To respond to this consultation please log on to <https://applauncher.planningni.gov.uk/Home/Welcome> using your Government Gateway user name and password. This will provide access to your consultation work queue and all the details of this consultation.

Your comments should be submitted online using the Consultee Response eForm available on the Planning Portal by 21 days, or such other period agreed in writing, from the date of this letter.

Yours faithfully





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Lisburn & Castlereagh Planning Authority

Network Planning
Eastern Division
Benson House
40A Benson Street
LISBURN
BT28 2BG

Tel: 0300 200 7893

Planning Authority Case Officer: Ms Catherine Gray
Planning Application Ref: LA05/2021/0276/RM
Date consultation received: 18/05/2021
Date of Reply: 25/05/2021

Location: 30m N of 75 Dromore Road, Hillsborough.

Proposal: Dwelling and Garage.

DfI- Roads offers no objection to this development proposal.
Should Planning Service be minded to progress the application towards an approval, DfI – Roads recommends the following conditions and informatives be considered for inclusion in any decision notice issued:-

Conditions

1. The vehicular access, including any visibility splays and any forward sight distance, shall be provided in accordance with Drawing No. 02A, bearing the date stamp 29 April 2021, prior to the commencement of any other works or other development hereby permitted. The area within the visibility splays and any forward sight line shall be cleared to provide a level surface no higher than 250 mm above the level of the adjoining carriageway and such splays shall be retained and kept clear thereafter.
REASON: To ensure there is a satisfactory means of access in the interest of road safety and the convenience of road users.
2. The access gradient to the dwelling hereby permitted shall not exceed 8% (1 in 12.5) over the first 5 m outside the road boundary. Where the vehicular access crosses footway or verge, the access gradient shall be between 4% (1 in 25) maximum and 2.5% (1 in 40) minimum and shall be formed so that there is no abrupt change of slope along the footway.
REASON: To ensure there is a satisfactory means of access in the interests of road safety and the convenience of road users.

3. No dwelling shall be occupied until hard surfaced areas have been constructed in accordance with approved Drawing No. 02A, bearing date stamp 29 April 2021 to provide adequate facilities for parking and circulating within the site. No part of these hard surfaced areas shall be used for any purpose at any time other than for the parking and movement of vehicles.
REASON: To ensure that adequate provision has been made for parking.
4. Any existing street furniture or landscaping obscuring or located within the proposed carriageway, sight visibility splays, forward sight lines or access shall, after obtaining permission from the appropriate authority, be removed, relocated or adjusted at the applicant's expense.
REASON: In the interest of road safety and the convenience of road users.

Informatives

1. Precautions shall be taken to prevent the deposit of mud and other debris on the adjacent road by vehicles travelling to and from the construction site. Any mud, refuse, etc deposited on the road as a result of the development, must be removed immediately by the operator/contractor.
2. Notwithstanding the terms and conditions of the Planning Department's approval set out above, you are required under Article 71-83 inclusive of the Roads (NI) Order 1993 to be in possession of the Department for Infrastructure - Road's consent before any work is commenced which involves making or altering any opening to any boundary adjacent to the public road, verge, or footway or any part of said road, verge, or footway bounding the site. The consent is available on personal application to the DfI - Roads Section Engineer whose address is Lisburn & Castlereagh Section Office, 40a Benson Street, Lisburn. A monetary deposit will be required to cover works on the public road.
3. All construction plant and materials shall be stored within the curtilage of the site.
4. It is the responsibility of the developer to ensure that water does not flow from the site onto the public road (including verge or footway) and that existing roadside drainage is preserved and does not allow water from the road to enter the site.

Please re-consult DfI - Roads in the event of a meeting request or when further information is available.

DfI – Roads Case Officer: Bryan Finlay
Network Planning

Issued on behalf of the Divisional Roads Manager

**SITE/OFFICE MEETINGS
TELEPHONE QUERIES**

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DATE 25/05/21

Eastern Division
Hydebank
4 Hospital Road
Belfast BT8 8JL

REFERENCE LA05/21/0276/AM

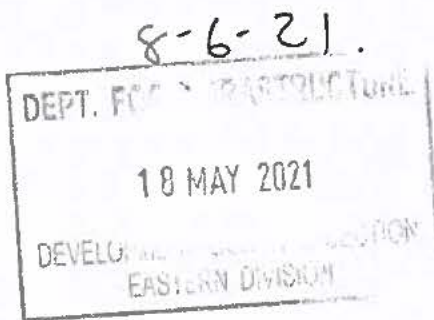
SUBJECT N of 75 Drogheda Rd - DWELLING

ATTENDANCE/CALLER

REF	SUMMARY	ACTION
22/4/21	- REQUESTED <ul style="list-style-type: none"> CLEAR FULLY DIMENSIONED PLANS SHOW CHALLENGE AT EDGE VS TO TANGENTS 	
	<p><u>18 MAY 21 - NEW INFO</u></p> <p>LAYOUT ACCEPTABLE.</p> <p>offer No OBJECTION</p> 	<div data-bbox="1191 1220 1505 1456" style="border: 1px solid black; border-radius: 50%; padding: 5px; display: inline-block;"> DWG. 02A 29 APR 21 </div>

DFI Roads - Hydebank
Planning Consultation,
DFI Roads
Eastern Division
Hydebank,
4 Hospital Road,
Belfast,
BT8 8JL

Lisburn & Castlereagh City Council
Local Planning Office
Island Civic Centre
Lagan Valley Island
The Island
Lisburn
BT27 4RL



Date: 18th May 2021
Your Ref: 63.20
Our Ref: LA05/2021/0276/RM
(Please quote at all times)
Please Contact: Catherine Gray
Contact Number 0289244 7593

Dear Sir/Madam,

Applic Ref.	LA05/2021/0276/RM	Application Type	Reserved Matters
Location:	30m north of 75 Dromore Road Hillsborough	Proposal:	Dwelling and garage (amended plan - 02A)
Applicant:	[REDACTED]	Agent:	Mc Cready Architects
Grid Reference	323189 357859	Date of Application	03.03.2021
Hierarchy	LOCDEV		
British Grid Reference	EAST134255 NORTH 514293		

SITE HISTORY:

TYPE	PROPOSAL	LOCATION	Determination	Date
LA05/2021/02 76/RM	Dwelling and garage	30m north of 75 Dromore Road, Hillsborough,		
S/1995/0855	Dwelling and garage	ADJACENT TO 75 DROMORE ROAD HILLSBOROUGH		
S/2003/0392/ O	Two one-and- three-quarter storey dwellings and garages	Adjacent to 75 Dromore Road, Hillsborough, Hillsborough, Northern Ireland, BT26 6HU		14.01.2004
LA05/2017/10 38/O	Dwelling and garage	30m north of 75 Dromore Road, Hillsborough,	PG	10.12.2018

ADDITIONAL INFORMATION RELATING TO THIS APPLICATION, IF ANY:

This application is subject to the Council's scheme of delegation.

Roads - Please see amended plan 02A for consideration.

To respond to this consultation please log on to <https://applauncher.planningni.gov.uk/Home/Welcome> using your Government Gateway user name and password. This will provide access to your consultation work queue and all the details of this consultation.

Your comments should be submitted online using the Consultee Response eForm available on the Planning Portal by 21 days, or such other period agreed in writing, from the date of this letter.

Yours faithfully

Catherine Gray



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Lisburn & Castlereagh Planning Authority

Network Planning
Eastern Division
Benson House
40A Benson Street
LISBURN
BT28 2BG

Tel: 0300 200 7893

Planning Authority Case Officer: Ms Catherine Gray
Planning Application Ref: LA05/2021/0276/RM
Date consultation received: 01/04/2021
Date of Reply: 22/04/2021

Location: 30m North of 75 Dromore Road, Hillsborough.

Proposal: 1 No. Dwelling.

DfI - Roads considers the application unacceptable as submitted. Insufficient detail is available on transportation issues. Should Planning Service be minded to progress the application towards an approval, DfI - Roads require the following points to be addressed.

1. Provide a 'Clear Fully Dimensioned Engineering Drawing' showing the access and driveway, i.e. visibility splays, forward sight lines and access widths and parking space dimensions to the requirements of the Department's Development Control Advise Note 15.
2. The carriageway edge must be shown along the extent of the visibility splays in both directions.
3. The visibility splays must be drawn to the tangents of the road curves.

Please re-consult DfI - Roads in the event of a meeting request or when further information is available.

DfI - Roads Case Officer: Bryan Finlay
Network Planning

Issued on behalf of the Divisional Roads Manager

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Planning Application Consultation (DC) Checklist

(To be returned via ePIC to Planning Division with Initial Consultation Response)

Priority Road Name →	Dromore Road	Planning Ref →	LA05/2021/0276/RM
Application suitable for RS cat F process?	No	Site visited?	Yes
Transport Assessment Required?	No	<small>Note: Site visit not normally required for cat F process when: - plans contain sufficient information, or - site is known to case officer.</small>	

Visibility Splays and Forward Sight Distances (DCAN 15):n/a			
Traffic speed (85%ile) on priority road →	40 mph	Estimated	
Speed limit →	40 mph		
Road Width (m) →	6.5	3.0 – 3.5	
Access	Requirement (m) ↓	Available?	Comment
X-distance →	2.4	Yes	
Y-distance →	79 & Tangents	Yes/No	Needs demonstrated
Forward sight dist →	79	Yes	
Reasons for variations from standards, if required e.g. preservation of trees/hedges:			
.			

Infrastructure:		Comment / Req'd Standard ↓
Does 'Creating Places' apply?	Yes/No	
Private Streets Determination required?	Yes/No	
Additional infrastructure required?	Yes/No	
Technical/Geotechnical Assessment req'd?	Yes/No	
Car parking provision?	Yes/No	
DMRB relaxation/departure from standard?	Yes/No	
Street furniture to be moved/removed?	Yes/No	
Addnl street lighting required (RSPPG E011)?	Yes/No	
Gradients OK?	Yes/No	

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Surface water and drainage provision OK?	Yes/No	.
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Site Sketch:

See site drawings.

Has 3 rd Party Comment been received and considered?	No	
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Dfl - Roads Recommendation on Application

	Tick	Reason
No objection to the proposal		
No objection, subject to Conditions		
No objection, with Informatives		
Further details reqd from applicant	√	See details above.
Further analysis required		
Not acceptable		
Additional comments, if any?		

	Name	Grade	Signature	Date
Case Officer:	Bryan Finlay	HPTO		22/04/21
Supervisory Officer: <small>(Required for all PS determined sites and 5% of all other sites)</small>				

**SITE/OFFICE MEETINGS
TELEPHONE QUERIES**

5


DATE 22/04/21

Eastern Division
Hydebank
4 Hospital Road
Belfast BT8 8JL

REFERENCE LA05/21/0276/Rn

SUBJECT N of 75 DIAMOND ROAD - DWELLING

ATTENDANCE/CALLER

REF	SUMMARY	ACTION
	<p>LA05/17/1038/0 - US = 2.4 x 79 ~</p> <p>- NEED FULL EXTENT OF CARRIAGEWAY EDGE TO BE SHOWN ALONG FULL LENGTH OF SPAYS.</p> <p>- DRAWN TO TANGENTS.</p> 	

Note to be adhered to and detailed where appropriate.

VISIBILITY SPLAYS

1. The area within the visibility splays shall be cleared to provide a level surface no higher than 250mm above the level of the adjoining carriageway and shall be retained and kept clear thereafter. Any pole or column materially affecting visibility must also be removed. No work shall commence on site until the visibility splays have been provided.

2. The line of any new fence or wall must be positioned behind the visibility splays. It is recommended that any new trees or shrubs be planted at least 3.0m back from the visibility splays to allow for future growth and some species will require additional set back. All existing planting must be kept trimmed behind visibility splays.

DRAINAGE

3. Drainage shall be provided where necessary to prevent water from the access flowing on to the public road. Similarly, the existing road drainage must be accommodated where appropriate and measures must be taken to prevent road surface water from flowing on to the access. The appropriate drainage arrangements must be detailed on the plan.

4. Any open drains in the road verge shall be piped to the satisfaction of DRO Roads Service. Open drains behind the fence/hedge line shall be piped to the satisfaction of the Department of Agriculture - Watercourse Management Division.

5. Where the vehicular access crosses a footway, the access gradient shall be between 4% (1:25) maximum and 2.5% (1:40) minimum and shall be formed so that there is no abrupt change of slope along the footway.

GATES / SECURITY BARRIERS

6. Entrance gates, where erected, should be sited at least 5m from the edge of the carriageway. Where this is not possible, they shall be sited so that when they open, they do not project over the footway, verge or carriageway.

7. In the case of industrial premises or other major accesses, gates or security barriers shall be located at a distance from the edge of the carriageway that will allow the largest vehicle likely to use the access to stop clear of the carriageway when the gates or the barriers are closed.

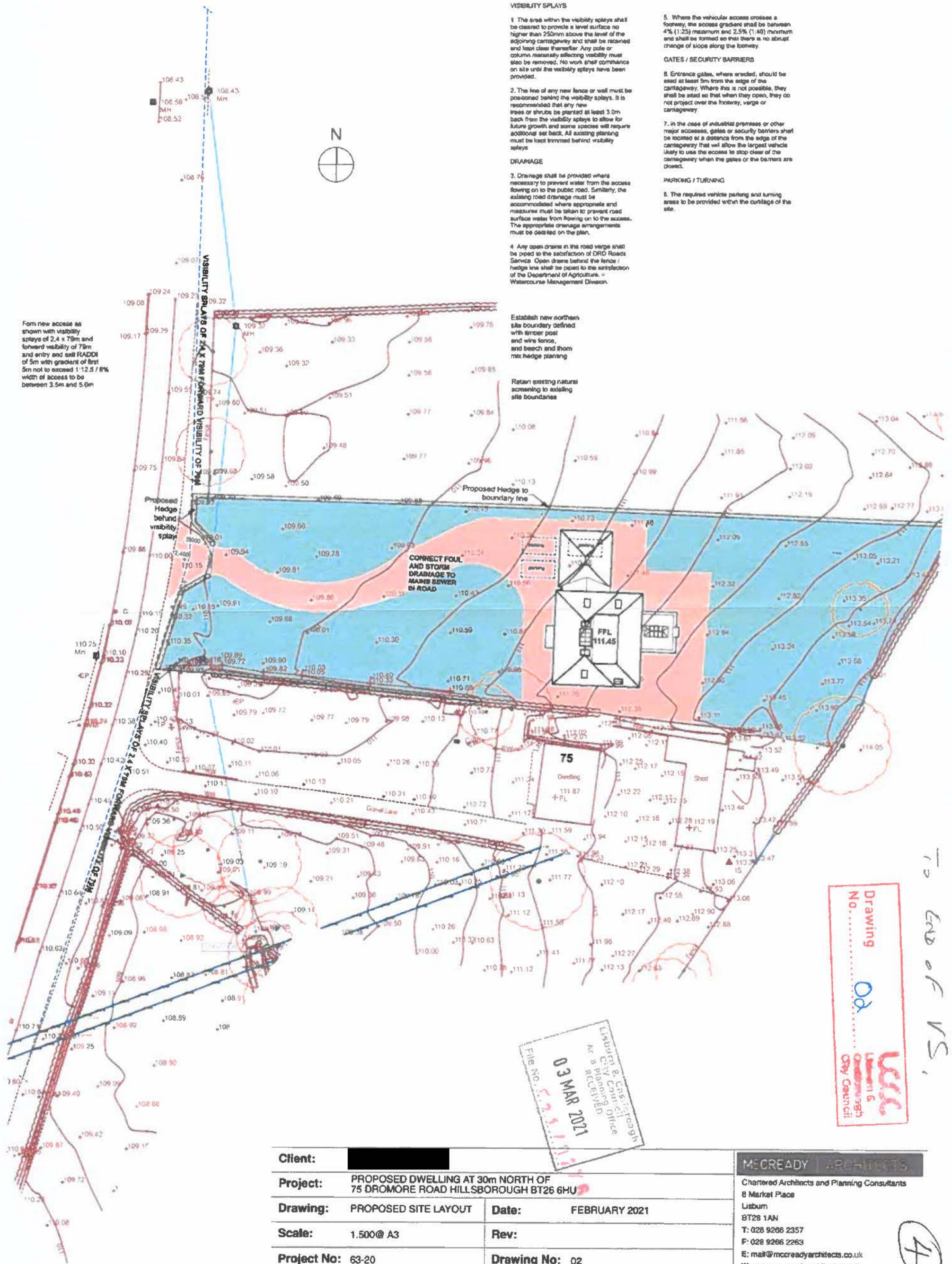
PARKING / TURNING

8. The required vehicle parking and turning areas to be provided within the curtilage of the site.

Form new access as shown with visibility splays of 2.4 x 79m and forward visibility of 79m and entry and exit RADDI of 5m with gradient of first 5m not to exceed 1:12.5 / 8% width of access to be between 3.5m and 5.0m

Establish new northern site boundary defined with timber post and wire fence, and beech and thorn mix hedge planting

Retain existing natural screening to existing site boundaries



+ SHOW EXTENT OF ROAD BOUNDARY
 + UNK '10' HANGOUTS
 TO END OF VS

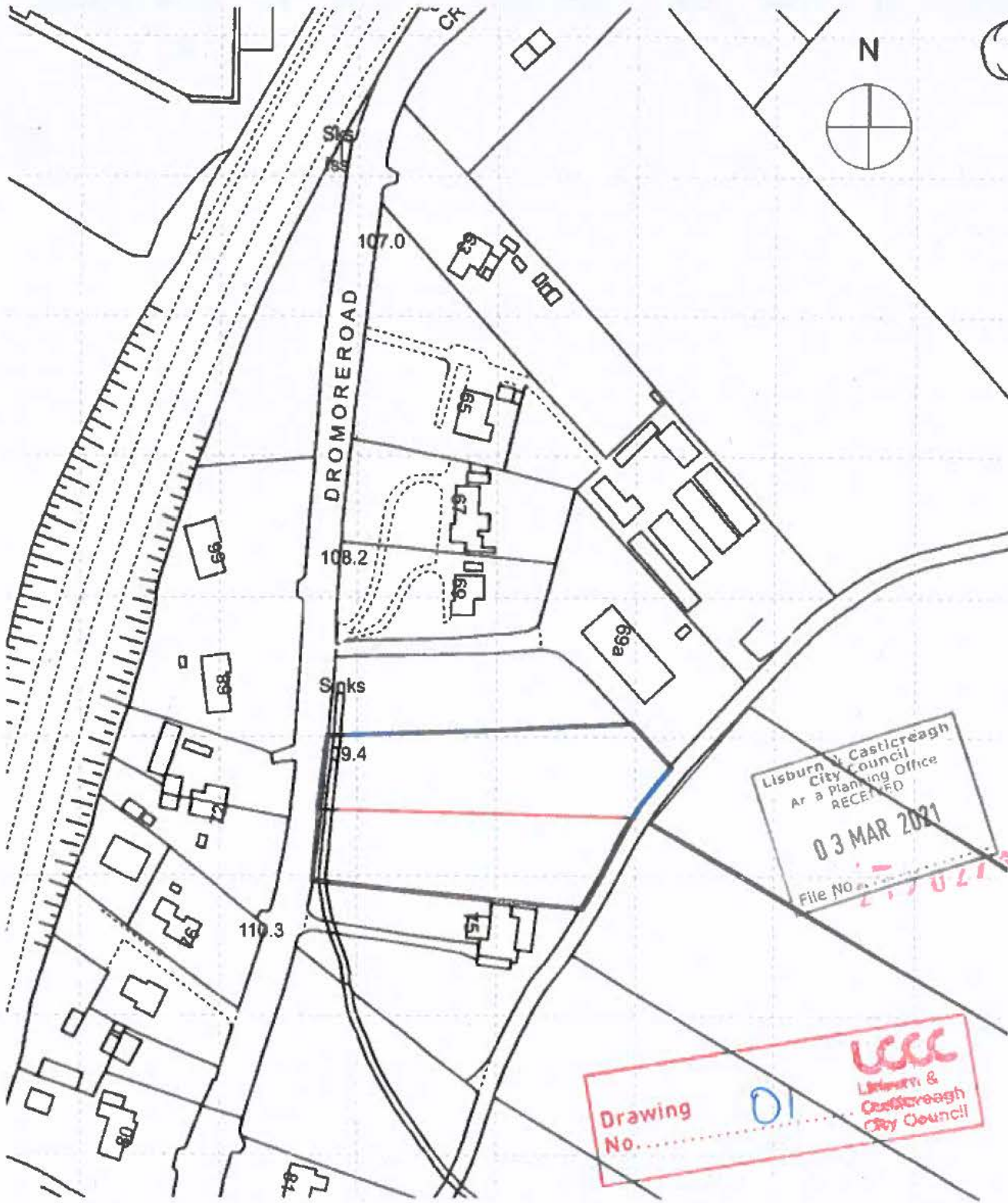
Drawing No. 02
 WCC
 Warrington City Council

FILE NO. 2021/03
 03 MAR 2021
 Lisburn City Council
 Planning Office
 AS RECEIVED

Client:	[REDACTED]	McCready Architects	
Project:	PROPOSED DWELLING AT 30m NORTH OF 75 DROMORE ROAD HILLSBOROUGH BT26 6HU	Chartered Architects and Planning Consultants 8 Market Place Lisburn BT28 1AN T: 028 9266 2357 F: 028 9266 2263 E: mail@mccreadyarchitects.co.uk W: www.mccreadyarchitects.co.uk	
Drawing:	PROPOSED SITE LAYOUT	Date:	FEBRUARY 2021
Scale:	1.500@ A3	Rev:	
Project No:	63-20	Drawing No:	02

4

3



Lisburn & Castlereagh
City Council
Ar a Planning Office
RECEIVED
03 MAR 2021
File No. 2770275

Drawing No. 01
Lisburn & Castlereagh City Council

OS: 184.05 SW
CROWN COPYRIGHT
SITE OUTLINED RED

Client:	[REDACTED]	MCCREADY ARCHITECTS	
Project:	PROPOSED DWELLING AT 30m NORTH OF 75 DROMORE ROAD HILLSBOROUGH BT26 6HU	Chartered Architects and Planning Consultants 8 Market Place Lisburn BT28 1AN T: 028 9266 2357 F: 028 9266 2263 E: mail@mccreadyarchitects.co.uk W: www.mccreadyarchitects.co.uk	
Drawing:	SITE LOCATION PLAN	Date:	FEBRUARY 2021
Scale:	1:2500@ A4	Rev:	
Project No:	63-20	Drawing No:	01

DFI Roads - Hydebank
Planning Consultation,
DFI Roads
Eastern Division
Hydebank,
4 Hospital Road,
Belfast,
BT8 8JL

Lisburn & Castlereagh City Council
Local Planning Office
Island Civic Centre
Lagan Valley Island
The Island
Lisburn
BT27 4RL

22-4-21
DEPT. FOR INFRASTRUCTURE
01 APR 2021
DEVELOPMENT CONTROL SECTION
EASTERN DIVISION

Date: 1st April 2021
Your Ref: 63.20
Our Ref: LA05/2021/0276/RM
(Please quote at all times)
Please Contact: Catherine Gray
Contact Number 0289244 7593

Dear Sir/Madam,

Applic Ref.	LA05/2021/0276/RM	Application Type	Reserved Matters
Location:	30m north of 75 Dromore Road Hillsborough	Proposal:	Dwelling and garage
Applicant:	[REDACTED]	Agent:	Mc Cready Architects
Grid Reference	323189 357859	Date of Application	03.03.2021
Hierarchy	LOCDEV		
British Grid Reference	EAST134255 NORTH 514293		

LA05/17/632/-

SITE HISTORY:

TYPE	PROPOSAL	LOCATION	Determination	Date
LA05/2021/02 76/RM	Dwelling and garage	30m north of 75 Dromore Road, Hillsborough,		
S/1995/0855	Dwelling and garage	ADJACENT TO 75 DROMORE ROAD HILLSBOROUGH		
S/2003/0392/ O	Two one-and- three-quarter storey dwellings and garages	Adjacent to 75 Dromore Road, Hillsborough, Hillsborough, Northern Ireland, BT26 6HU		14.01.2004
LA05/2017/10 38/O	Dwelling and garage	30m north of 75 Dromore Road, Hillsborough,	PG	10.12.2018

ADDITIONAL INFORMATION RELATING TO THIS APPLICATION, IF ANY:

This application is subject to the Council's scheme of delegation.

WMU - May we have your comments re: sewerage.

To respond to this consultation please log on to <https://applauncher.planningni.gov.uk/Home/Welcome> using your Government Gateway user name and password. This will provide access to your consultation work queue and all the details of this consultation.

Your comments should be submitted online using the Consultee Response eForm available on the Planning Portal by 21 days, or such other period agreed in writing, from the date of this letter.

Yours faithfully

Catherine Gray

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Planning Application Number	LA05/2017/1038/O
Date Received	25/10/2017
Date of Response	07/11/2017
DfI-Roads Case Officer – David Bramall	LCCC Case Officer -

If LCCC Planning Department consider this application in accordance with the general policies in PPS 21 then DfI-Roads considers this application acceptable and if planning approval is granted, would request that the following conditions and informatives be included.

- A scale plan and accurate site survey at 1:500 (minimum) shall be submitted as part of the reserved matters application showing the access to be constructed and other requirements in accordance with the attached form RS1.

REASON: To ensure there is a satisfactory means of access in the interests of road safety and the convenience of road users.

- At Reserved Matters Stage parking for 3 cars and adequate maneuvering space shall be demonstrated in accordance with the requirements of the Department's current published Parking Standards.

REASON: To ensure the provision of adequate parking facilities to meet the needs of the development and in the interests of road safety and the convenience of road users.

- Any existing street furniture or landscaping obscuring or located within the proposed carriageway, visibility splays or access shall, after obtaining permission from the appropriate authority, be removed, relocated or adjusted at the applicants' expense.

REASON: In the interest of road safety and the convenience of road users.

- Gates at the access shall be located at a distance from the edge of the public road that will allow the largest expected vehicle to stop clear of the public road when the gates or barriers are closed.

REASON: To ensure waiting vehicles do not encroach onto the carriageway.

Issued on behalf of the Divisional Roads Manager

Enc : **RS1 Form**
DC Checklist

DETAILED REQUIREMENTS FOR PUBLIC ROAD ACCESS

Form RS1

Planning Ref:LA05/2017/1038/O – 30m north of 75 Dromore Road, Hillsborough

The detailed access requirements for the above proposal are set out in the box below, a maximum 1:500 scale plan incorporating these requirements must be submitted as part of the Reserved Matters application.

1. Layout to be generally in accordance with diagram 1 overleaf
2. Visibility Splays **X = 2.4** metres **Y = 79** metres
3. Width of Access (if different from diagram) **3.2 - 5.0 m** Forward Sight Distance **79m**
5. Minimum radii (if different from diagram). Entry **5** metres. Exit **5** metres.
6. Gradient of the access not to exceed 1:12.5 (8%) over the first 5 metres outside the road boundary. i.e., from the back of the verge/back of footway/fence-line/edge of carriageway.
7. Access position – Positioned to ensure visibility and forward sight distance are achieved
Other Requirements – Access positioned to ensure visibility requirements are achieved.
8. SIGNED **D Bramall** DATE **07 Nov 2017**

The proposed access details shall also be in accordance with the publication "Vehicular Access Standards" some portions of which are reproduced below for convenience.

Notes to be adhered to and detailed where appropriate

VISIBILITY SPLAYS

1. The area within the visibility splays shall be cleared to provide a level surface no higher than 250 mm above the level of the adjoining carriageway and shall be retained and kept clear thereafter. Any pole or column materially affecting visibility must also be removed. No work shall commence on site until the visibility splays have been provided.
2. The line of any new fence or wall must be positioned behind the visibility splays. It is recommended that any new trees or shrubs be planted at least 3.0 m back from the visibility splays to allow for future growth and some species will require additional set back. All existing planting must be kept trimmed behind visibility splays.

DRAINAGE

3. Drainage shall be provided where necessary to prevent water from the access flowing onto the public road. Similarly the existing road drainage must be accommodated where appropriate and measures must be taken to prevent road surface water from flowing onto the access. The appropriate drainage arrangements must be detailed on the plan.
4. Any open drains in the road verge shall be piped to the satisfaction of DOE Roads Service. Open drains behind the fence/hedge line shall be piped to the satisfaction of the Department of Agriculture – Watercourse Management Div.

GRADIENT

5. Where the vehicular access crosses a footway, the access gradient shall be between 4% (1:25) maximum and 2.5% (1:40) minimum and shall be formed so that there is no abrupt change of slope along the footway.

GATES/SECURITY BARRIERS

6. Entrance gates, where erected, should be sited at least 5 metres from the edge of the carriageway. Where this is not possible, they shall be sited so that when open they do not project over the footway, verge, or carriageway.
7. In the case of industrial premises or other major accesses, gates or security barriers shall be located at a distance from the edge of the carriageway that will allow the largest vehicle likely to use the access to stop clear of the carriageway when the gates or barriers are closed.

PARKING/TURNING

8. The required vehicle parking and turning areas to be provided within the curtilage of the site.

SEPTIC TANKS

9. Position of the septic tank to be shown. Drainage must not be discharged directly towards the public road or into any drain leading to the public road.

DIAGRAM 1: ACCESS FOR SINGLE DWELLING Option A

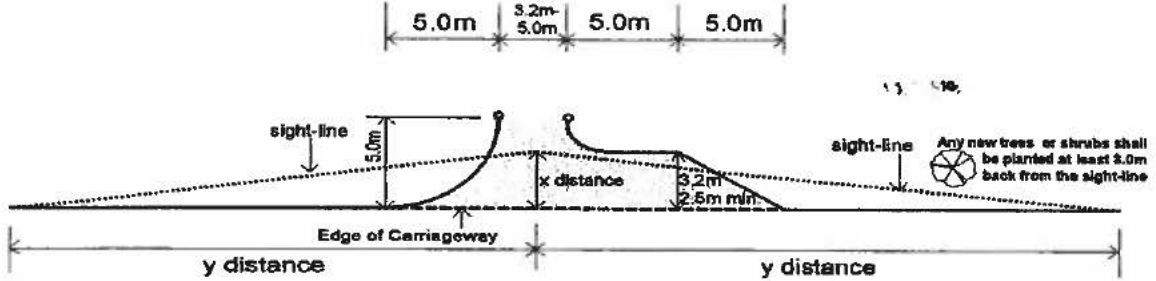


DIAGRAM 2: ACCESS FOR SINGLE DWELLING Option B

Within Development Limits lowering of kerbs will normally be acceptable, where there is a frontage footway.

Notwithstanding to road works or maintenance.

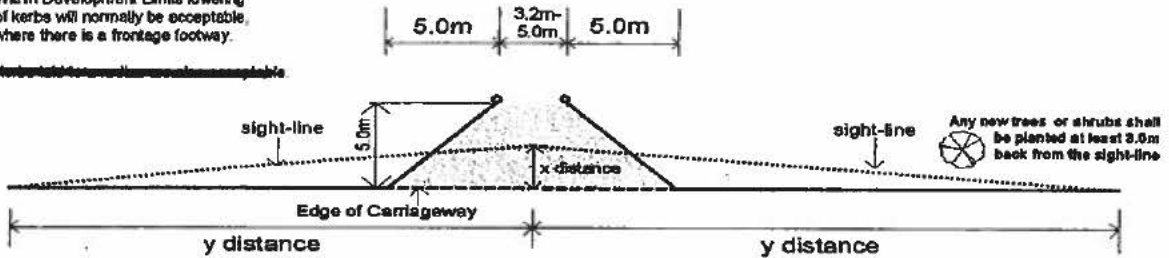


DIAGRAM 3: ACCESS FOR PAIRED DWELLINGS

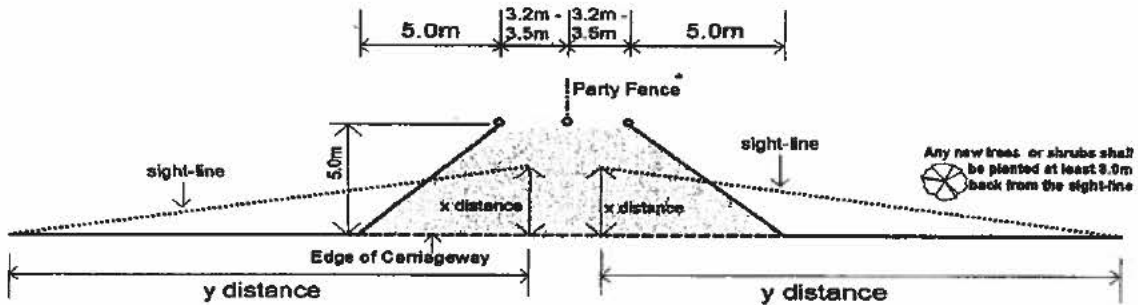
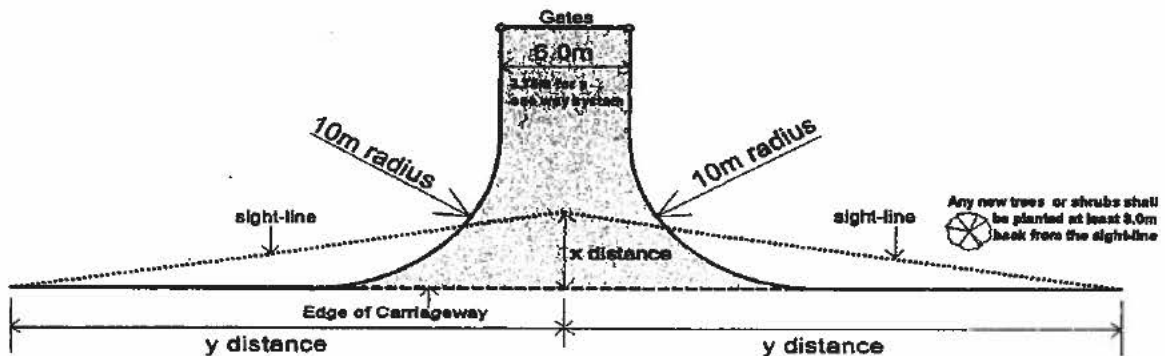


DIAGRAM 4: OTHER ACCESSES



Priority Road Name	DROMORE ROAD	Planning Ref	LA05/2017/1038/O
Application suitable for cat F process?	NO	Site Visited?	YES
Transport Assessment Required?	NO	Plans contain sufficient information	

Visibility Splays and Forward Sight Distances (DCAN 15)			
Traffic speed (85%ile) on priority road	40 mph		
Speed limit	40 mph		
Road Width (m)	6.5	Verge Width (m)	3.0 – 3.5
Access	Requirement (m)	Available	Comment
X Distance	2.4		
Y Distance	79		
Forward Sight Distance	79		
Reasons for variations from standards, if required e.g. preservation of trees / hedges:			

Infrastructure		Comment / Required Standard
Does Creating Places apply?	NO	
Private Streets Determination required?	NO	
Additional infrastructure required?	NO	
Technical / Geotechnical Assessment req'd?	NO	
Car parking provision?	YES	
DMRB relaxation / departure from standard?	NO	
Street furniture to be moved / removed?	NO	
Addnl street lighting required? (RSPPG E011)	NO	
Gradients OK?	N/A	
Surface Water and drainage provision OK?	N/A	

Site Sketch

Has 3 rd Party Comment been received and considered?	NO
---	-----------

DfI-Roads - Recommendation on Application		
	Tick (✓)	Reason
No objection to the proposal		
No objection, subject to conditions	✓	
No objection, with informatives		
Further details required from applicant		
Further analysis required		
Not acceptable		
Additional comments, if any		

	Name	Date
Case Officer	D Bramall	07/11/2017
Supervisory Officer <small>(Only required for PS determined sites)</small>		

SITE / OFFICE MEETINGS TELEPHONE QUERIES

Date 7/11/17

Reference LAOS/17/1038/0

Subject ①

Eastern Division

Hydebank

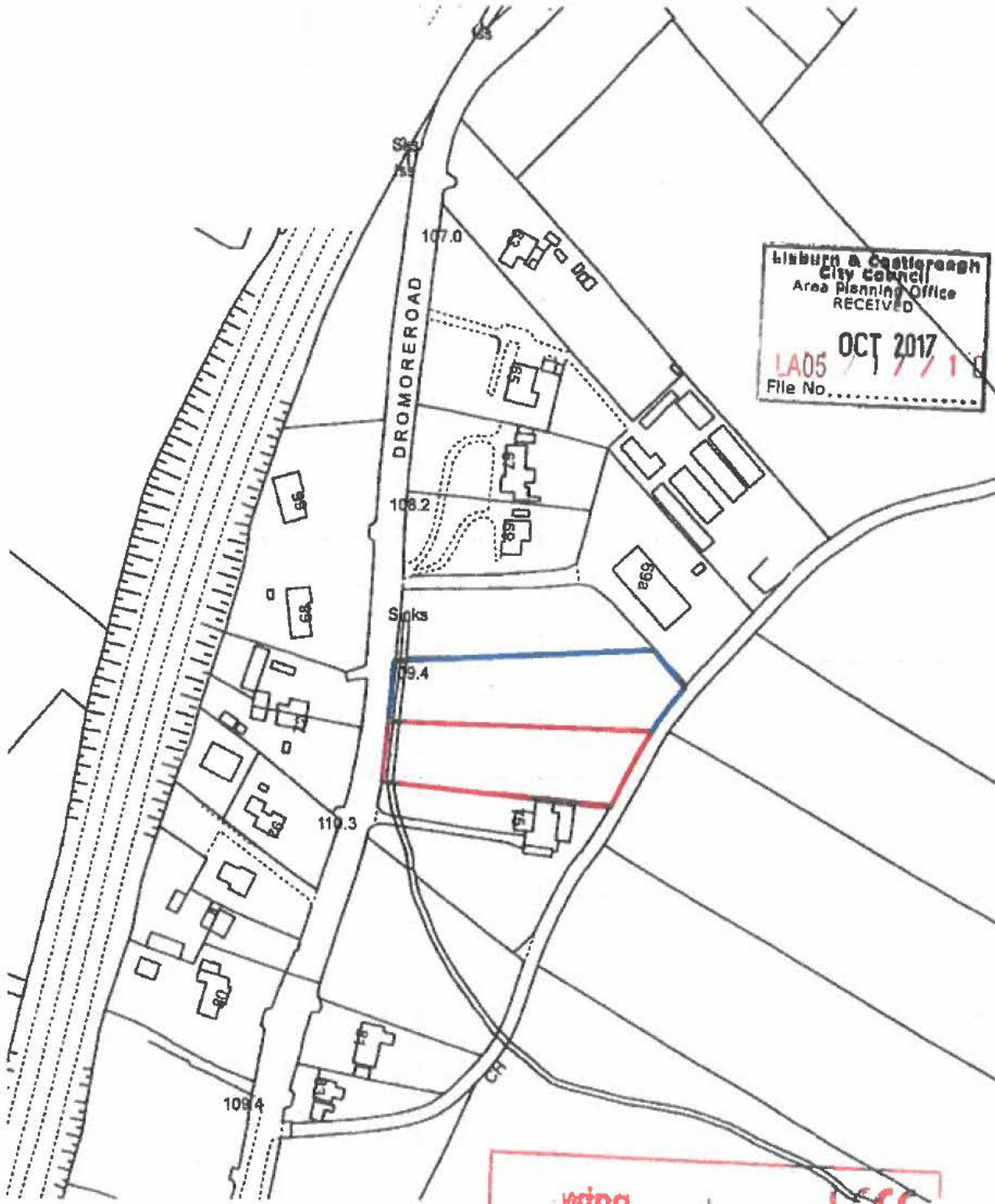
4 Hospital Road

Belfast

BT8 8JL

Attendance / Caller

REF	SUMMARY	ACTION
	<p>New access 85k l. site = 40 mph 2-lane x 79m required.</p> <p>St furniture & bus stop</p> <p>Grass infill ?</p>	



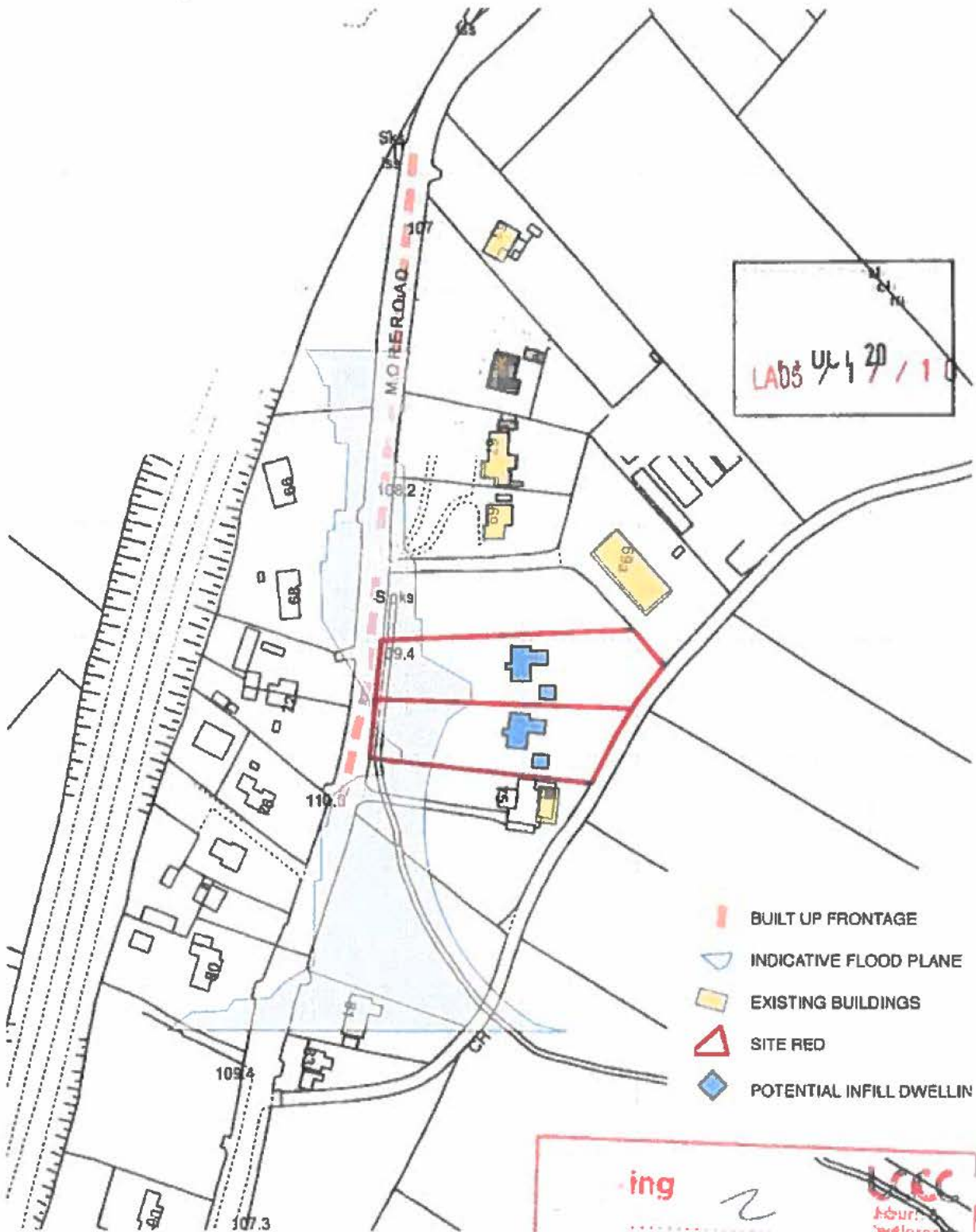
Lisburn & Castlereagh
 City Council
 Area Planning Office
 RECEIVED
 OCT 2017
 LA05
 File No.

wing
 LCCC
 Lisburn & Castlereagh Council

Project: PROPX
Drawing: SITE L
Scale: 1:2500
Drawing No: 43 17 /

MCCREADY ARCHITECTS
 Chartered Architects and Planning Consultants
 1 Market Place
 Lisburn
 BT28 1AN
 ☎ 028 9266 2357
 ☎ 028 9266 2263
 ✉ mail@mccreadyarchitects.co.uk
 🌐 www.mccreadyarchitects.co.uk

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OS : 184.05SW
CROWN COPYRIGHT

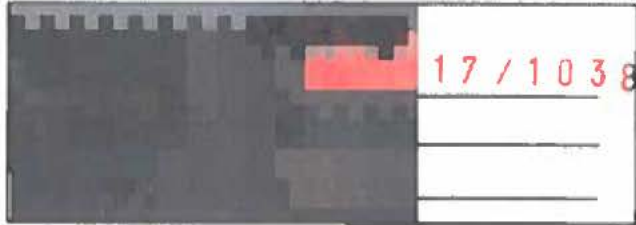
SITE OUTLINED RED

- | BUILT UP FRONTAGE
- / INDICATIVE FLOOD PLANE
- EXISTING BUILDINGS
- ▭ SITE RED
- ◆ POTENTIAL INFILL DWELLIN

ing 2

~~UCC~~
Hour:
Swalehead
Council

Client:	[REDACTED]	MCCREADY ARCHITECTS Chartered Architects and Planning Consultants 8 Market Place Lisburn BT28 1AN T 028 9266 2357 F 028 9266 2263 E mail@mccreadyarchitects.co.uk W www.mccreadyarchitects.co.uk
Project:	PROPOSED DWELLING 55M NORTH OF 75 DROMORE ROAD HILLSBOROUGH	
Drawing:	CONCEPT PLAN	
Scale:	1:2500	
Date:	10.10.2017	
Drawing No:	43.17 / CP	Rev:



Please read the notes below first – for additional guidance please see the "Explanatory Notes on Applying for Planning Permission, Approval of Reserved Matters and Other Planning Consents" and "Notes on Completion of Form P1" on the Planning Portal at [v1](#) [uk](#) or discuss any queries with your local planning office.

Please note that when you submit a planning application the information, including plans, maps and drawings, will appear on the Planning Register which is publicly available and, along with other associated documentation (with the exception of personal telephone numbers, email addresses or sensitive personal data), will also be published on the Planning Portal through the Public Access Portal [uk](#)

Important: This form should **NOT** be used for the following types of application

- Householder Application – Form PHD
- Section 54 Develop land without compliance with conditions – Form RVC1
- Listed Building Consent – Form LB1
- Conservation Area Consent – Form PCAC1
- Advertisement Consent – Form A1
- Certificate of Lawful Development – Form LDC1/2



1a. Applicant's name and address

1b. Agent's name and address (if any)

Name:	[REDACTED]	Name:	MCCREADY ARCHITECTS
Address:	[REDACTED]	Address:	8 MARKET PLACE
Town:	MOIRA	Town:	LISBURN
Postcode:	[REDACTED]	Postcode:	BT28 1AN
Tel:		Tel:	028 92662357
		Ref. No.:	43.17 B

About the Application Site

2. Give the full postal address of the site to be developed (outline in red on site location map and give townland if known)

30M NORTH OF 75 DROMORE ROAD
HILLSBOROUGH

[REDACTED]

late last use ceased)

[REDACTED]

About your Development Proposal

5. Please give details of the proposed development, including purpose for which the land / buildings are to be used. (It is vital that a full and accurate description of the proposal is provided. Give as much detail as possible including number of houses / apartments etc)

DWELLING AND GARAGE

6. Do the current proposals involve: (tick as appropriate)

- new buildings alteration or extension of buildings
- change of use retention of development
- development without complying with conditions other operational development

7. Pre-Application Discussion

Have you received any pre application advice from your local council in relation to this proposal?

Yes No If Yes please provide Reference No:

8. Major Development

Does the proposal involve a class of development listed in the Schedule of The Planning (Development Management) Regulations (Northern Ireland) 2015?

Yes No

If Yes has a Proposal of Application Notice been submitted for this development?

Yes No If Yes please provide Reference No

If a Proposal of Application Notice has been submitted, has a Pre-Application Community Consultation report been submitted along with this application?

Yes No

NOTE: Failure to submit a Pre-Application development will result in your application

9. Is this a temporary permission? Yes

If yes, please state how long the permission is re u

- Use of an existing unaltered access to a public road?
- Construction of a new access to a public road?
- Alteration of an existing access to a public road?

Is the access for: Vehicular Use Pedestrian Use Both

NOTE: If you propose to construct a new access or alter an existing one you must include full drawings with your application.

13. Do you own or control any adjoining land?
 Yes No If Yes, outline in blue on site location map

14. Are you aware of the existence on the application site of any wildlife protected under the Wildlife (NI) Order 1985 (as amended)? Refer to Department of Agriculture, Environment and Rural Affairs website www.dera.gov.uk
 Yes No If Yes, what species?

15. Is there a public right of way within or adjoining the site of the proposed development?
 Yes No If Yes, show in green on your site location map

16. What is the source of the water supply?
 Mains Other If Other, please specify

17. How will the surface water be disposed of?

18. How will foul sewage be disposed with?
 Mains Septic Tank Other If Other, please specify

19. Assessment of Flood Risk

Is the site within an area of known risk of flooding?

Yes No

NOTE: If the site is within an area of known risk of flooding you may need to submit a Flood Risk Assessment before your application may be determined. You may wish to contact your local planning office for advice on what information may be required.

20. Does the application relate to a proposal for a dwelling for a on a farm? (tick yes or no)

Yes No If Yes, form P1C must be completed

If your application relates to Non Residential Development please complete questions 21-25, if not go to question 26

21. In the case of industrial development, give a brief description of the process, products and type of machinery to be operated.

22. What is the anticipated daily water requirement? m³

23. What is the nature, volume and proposed means of disposal of any trade effluents or trade refuse?

24. Please detail floorspace as indicated below

Floorspace uses	Existing area (m ²)		Proposed addition or replacement (m ²)		Total	
	Gross	Net	Gross	Net	Gross	Net
Production						
Sales						
Offices						
Storage						
Ancillary uses						
Total						

Transport NI - Hydebank
Planning Consultation,
Roads Service,
Hydebank,
4 Hospital Road,
Belfast,
Co. Down,
BT8 8JL

Lisburn & Castlereagh City Council
Local Planning Office
Island Civic Centre
Lagan Valley Island
The Island
Lisburn
BT27 4RL

Que 15/11/17



Date: 25th October 2017
Your Ref: 43.17B
Our Ref: LA05/2017/1038/O
(Please quote at all times)
Please Contact:
Contact Number 0300 200 7830

Dear Sir/Madam,

Applic Ref.	LA05/2017/1038/O	Application Type	Outline
Location:	30m north of 75 Dromore Road Hillsborough	Proposal:	Dwelling and garage
Applicant:	[REDACTED]	Agent:	McCready Architects
Grid Reference	323186 357854	Date of Application	11.10.2017
British Grid Reference	EAST134252 NORTH 514288		

SITE HISTORY:

TYPE	PROPOSAL	LOCATION	Determination	Date
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ADDITIONAL INFORMATION RELATING TO THIS APPLICATION, IF ANY:

This application is not subject to the Council's scheme of delegation.

To respond to this consultation please log on to the Planning Portal www.planningni.gov.uk using your Government Gateway user name and password. This will provide access to your consultation work queue and all the details of this consultation. Your comments should be submitted online using the Consultee Response eForm available on the Planning Portal by 21 days, or such other period agreed in writing, from the date of this letter.

Yours faithfully